

Corporation & Securities Bureau  
6500 Mercantile Way  
Lansing, Michigan 48209  
Incorporation  
(517) 374-9417  
P.O. Box 30954  
Corporation Division  
Corporation Information  
(517) 373-0193  
Record Information  
(517) 373-0196  
Annual Report  
(517) 373-0189  
Certification & Copies  
(517) 373-2901

STATE OF MICHIGAN



WILLIAM G. MILLIKEN, Governor

DEPARTMENT OF COMMERCE

WILLIAM F. McLAUGHLIN, Director

P.O. Box 30222  
Enforcement Division  
(517) 374-9426  
Examination Division  
(517) 373-0435  
Franchise & Agent Licensing  
(517) 374-9444  
Condominiums  
(517) 373-8026  
Mobile Homes  
(517) 374-9385

ORDER  
CONDITIONAL PERMIT TO SELL

In re: Application of Streamwood Estates, a Michigan co-partnership, 30233 Southfield Road, Southfield, Michigan 48076, Developer, for a Conditional Permit To Sell for STREAMWOOD ESTATES - SEVENTH AMENDMENT, Hamlin & Crooks Road, Avon Township, Oakland County, Michigan. (Our File #72-294.)

1. Application having been duly made and examined, and

A Certificate of Approval of Amended Master Deed, having been entered on February 20, 1980, and recorded on February 21, 1980, in Liber 7735, page 138; and in the Amended Master Deed, recorded on February 21, 1980, in Liber 7735, pages 141 through 170, in the Oakland County Register of Deeds.

3. Therefore, a Conditional Permit To Sell units is hereby granted to the developer pursuant to 1978 P.A. 59, subject to the following conditions:

- a) That each purchaser of a unit be given a copy of the recorded Master Deed reduced to 8 1/2 x 14 inches, including the bylaws and plans which are a part thereof, the association articles and bylaws, a disclosure statement, and any additional exhibit required by the administrator in writing, at least ten (10) days before a unit is conveyed or ten (10) days before a purchase agreement or a reservation and subscription agreement becomes a binding agreement unless the time limit is waived as may be permitted by Section 89 of the Act.
- b) That this Bureau be furnished with a copy of all advertisements and sales literature to be used in the sale of units within 5 days after use.
- c) That no unit be conveyed until an occupancy permit has been received.
- d) That until conveyance of title, or at such other time designated by the Bureau, all deposits shall be placed and remain in escrow account.
- e) That "as-built" plans must be submitted no later than 90 days after satisfactory completion of the construction contracts relating to this project.
- f) That notice of a change in mortgagee be submitted to the Corporation & Securities Bureau.
- g) That notice of a successor developer or a successor mortgagee which acquires title to the project, or a portion of the project, be submitted to the Bureau.
- h) That the disclosure statement shall not be used unless it meets the requirements set forth in the Act and the Bureau's rules. A disclosure statement shall be amended prior to further use if there is a material change in the information contained therein. Any amendments to, or changes in, a disclosure statement shall be submitted to the Bureau for review prior to use.
- i) That the developer or its successor file or cause to be filed with the Bureau a report of sales. The first report shall be for the period ending March 31, 1980 and further reports will be filed every three (3) months thereafter until the last unit has been sold. An affidavit shall be filed indicating the date upon which the last unit in the project is sold. Except for any extensions by the Bureau, all reports are due within thirty (30) days of the report date.

At all times during the effectiveness of this permit, the developer shall keep or cause to be kept current the information contained in this filing.

ORDER  
CONDITIONAL PERMIT TO SELL  
Page Two

- 1) That this permit is valid for the sale of units numbered 171 through 203 ,  
as designated in the recorded Master Deed.

MICHIGAN DEPARTMENT OF COMMERCE  
William F. McLaughlin, Director

By Carl H. Tyson  
Carl Tyson, Acting Director  
Corporation & Securities Bureau

Dated: February 21, 1980  
 Lansing, Michigan

Corporation & Securities Bureau  
6545 Mercantile Way  
Lansing, Michigan 48909  
Information  
(517) 374-9417  
P.O. Box 30054  
Corporation Division  
Corporation Information  
(517) 373-0493  
Record Information  
(517) 373-0498  
Annual Report  
(517) 373-0488  
Certification & Copies  
(517) 373-2901

STATE OF MICHIGAN



WILLIAM G. MILLIKEN, Governor

DEPARTMENT OF COMMERCE

WILLIAM F. McLAUGHLIN, Director

O R D E R

P.O. Box 30222  
Enforcement Division  
(517) 374-9428  
Examination Division  
(517) 373-0485  
Franchise & Agent Licensing  
(517) 374-9444  
Condominiums  
(517) 373-8028  
Mobile Homes  
(517) 374-9588

RECORDED IN LIBER 7735, PAGE  
138, OAKLAND COUNTY RECORDS ON  
FEBRUARY 21, 1980

CERTIFICATE OF APPROVAL OF MASTER DEED

re: Application of Streamwood Estates, a Michigan co-partnership, 30233 Southfield Road, Southfield, Michigan 48076, Developer; for a Certificate of Approval of Master Deed in the proposed STREAMWOOD ESTATES - SEVENTH AMENDMENT, Hamlin & Crooks Road, Avon Township, Oakland County, Michigan. (Our File #72-294.)

. . . . .

1. Application having been duly made and examined,
2. A Certificate of Approval of the Master Deed for the above condominium is hereby given to the developer, pursuant to 1978 P.A. 59, subject to the following conditions:
  - a) That consents to the submission of the real property to a condominium project or discharges of all mortgage liens be obtained from all mortgagees and recorded prior to the recordation of the Master Deed.
  - b) That this order be recorded with the County Register of Deeds at the same time as the Master Deed itself is so recorded. A copy of such recorded documents shall be returned to the Michigan Department of Commerce, Corporation & Securities Bureau, prior to the issuance of a Permit To Sell.
  - c) That the Master Deed shall not be recorded without a certification by the Treasurer collecting same that all property taxes and special assessments which have become a lien on the property involved in the project have been paid in full.
  - d) When construction has been completed, the developer shall amend the Master Deed by filing "as built" plans.
3. This Certificate of Approval of Master Deed becomes effective immediately.
4. Pursuant to Section 21(3) of the Condominium Act, all projects approved under the Horizontal Real Property Act, 1963 P.A. 229, as amended, shall comply with Sections 21(4) and (5) of the Condominium Act.

MICHIGAN DEPARTMENT OF COMMERCE  
William F. McLaughlin, Director

By   
Carl Tyson, Acting Director  
Corporation & Securities Bureau

Dated: February 20, 1980  
Lansing, Michigan

**SEVENTH AMENDMENT TO MASTER DEED OF  
STREAMWOOD ESTATES**

Streamwood Estates, a Michigan co-partnership, being the Developer of Streamwood Estates, a Condominium Project established pursuant to the Master Deed thereof, recorded on May 22, 1974, in Liber 6295, Pages 308 through 352; First Amendment to the Master Deed recorded on September 19, 1975, in Liber 6541, Pages 296 through 325; Second Amendment to the Master Deed recorded on November 23, 1976, in Liber 6801, Pages 552 through 570; Third Amendment to the Master Deed recorded on November 14, 1977, in Liber 7064, Pages 874 through 894; Fourth Amendment to the Master Deed, recorded on April 27, 1978, in Liber 7185, Page 551; Fifth Amendment to the Master Deed recorded on May 23, 1978, in Liber 7206, Pages 718 through 738; and Sixth Amendment to the Master Deed recorded on May 31, 1979, in Liber 7523, Pages 366 through 394, Oakland County Records, and known as Oakland County Condominium Subdivision Plan No. 178, hereby amends the Master Deed of Streamwood Estates pursuant to the authority reserved in Article VI of said Master Deed for the purposes of enlarging the Condominium Project from 170 units to 203 units by the addition of land described in Section 1 below and reallocating percentages of value set forth in Article V-C of said Master Deed. Upon approval of this Amendment by Order of the Michigan Department of Commerce, and recordation in the Office of the Oakland County Register of Deeds of this Amendment and said Order, said Master Deed and Exhibit B thereto shall be amended in the following manner:

1. The following land shall be added to the Condominium Project by this Amendment:

A parcel of land being part of the Southwest 1/4 of Section 21, Town 3 North, Range 11 East, Avon Township, Oakland County, Michigan, being described as beginning at a point distant North 1° 34' 36" West, 60.02 feet to a point on the Northerly 60-foot right-of-way line of Hamlin Road; thence along the said Northerly right-of-way line North 89° 57' 21" West, 18.29 feet; thence leaving the said Northerly right-of-way line North 2° 51' 34" East, 125.36 feet; thence on a curve to the left having a radius of 500.00 feet, arc 109.59 feet, central angle 12° 33' 28", chord bearing and distance North 3° 25' 10" West, 109.37 feet; thence North 9° 41' 54" West, 70.00 feet; thence on a curve to the right having a radius of 480.00 feet, arc 789.59 feet, central angle 94° 15' 00", chord bearing and distance North 37° 25' 36" East, 703.53 feet; thence North 84° 33' 06" East, 325.00 feet; thence on a curve to the left having a radius of 730 feet, arc 289.53 feet, central angle 22° 43' 28", chord bearing and distance North 73° 11' 22" East, 287.63 feet from the Southwest corner of said Section 21; proceeding thence North 27° 20' 21" West, 391.25 feet to the approximate centerline of the Clinton River; thence along the said approximate centerline due East 91.98 feet; thence North 50° 03' 14" East, 104.35 feet; thence North 7° 34' 43" East, 150.88 feet; thence leaving the said approximate centerline South 43° 26' 54" East, 244.79 feet; thence South 46° 33' 06" West, 43.05 feet; thence South 43° 26' 54" East, 67.32 feet; thence South 46° 33' 06" West, 34.50 feet; thence South 43° 27' 28" East, 114.83 feet; thence South 46° 33' 06" West, 126.93 feet; thence on a curve to the right having a radius of 730.00 feet, arc 194.63 feet, central angle 15° 16' 32", chord bearing and distance South 54° 11' 22" West, 194.05 feet to the Point of Beginning. Said parcel containing 2.615 acres.

and

A parcel of land being part of the Southwest 1/4 of Section 21, Town 3 North, Range 11 East, Avon Township, Oakland County, Michigan, being described as beginning at a point distant North 1° 34' 36" West, 60.02 feet to a point on the Northerly 60-foot right-of-way line of Hamlin

Road; thence along said Northerly right-of-way line North 86° 48' 06" East, 261.52 feet; thence leaving the said Northerly right-of-way line North 3° 11' 51" West, 173.00 feet; thence North 86° 48' 09" East, 584.92 feet to a point on the Northerly right-of-way line of the Grand Trunk Railroad 100 feet wide; thence along said Northerly right-of-way line North 57° 03' 09" East, 106.33 feet; thence on a curve to the left having a radius of 5501.18 feet, arc 194.06 feet, central angle 2° 01' 16", chord bearing and distance North 56° 05' 07" East, 194.05 feet from the Southwest corner of said Section 21; proceeding thence North 11° 42' 31" West, 366.06 feet; thence South 78° 17' 29" West, 99.92 feet; thence North 11° 42' 31" West, 143.57 feet to a point on a curve; thence along a curve concave to the North having a radius of 790 feet, arc 310.48 feet, central angle 22° 31' 04", chord bearing and distance North 61° 35' 05" East, 308.48 feet; thence South 43° 26' 54" East, 456.55 feet to a point on a curve, said point also being on the said Northerly right-of-way line of the Grand Trunk Railroad; thence along the said Northerly right-of-way line on a curve concave to the Northwest having a radius of 5501.18 feet, arc 483.85 feet, central angle 5° 02' 22", chord bearing and distance South 52° 33' 18" West, 483.70 feet to the Point of Beginning. Said parcel containing 4.065 acres.

2. Sixth Amended Article V-C of said Master Deed of Streamwood Estates as set forth below, shall replace and supersede Fifth Amended Article V-C of the Master Deed as recorded, and the Fifth Amended Article V-C shall be of no further force or effect.

# SIXTH AMENDED ARTICLE V-C OF THE MASTER DEED OF STREAMWOOD ESTATES

## ARTICLE V

C. Set forth below are:

(a) Each apartment number as it appears on the Condominium Sub-division Plan.

(b) The percentage of value assigned to each apartment.

(c) The type of apartment for purposes of the occupancy limitation as set forth in Article VI, Section 1 of the Condominium Bylaws.

Apartment Number	Type	Percentage of Value Assigned
1	2-bedroom	.3715
2	2-bedroom	.3715
3	2-bedroom	.3715
4	2-bedroom	.3715
5	2-bedroom	.3715
6	2-bedroom	.3715
7	2-bedroom	.3715
8	2-bedroom	.3715
9	2-bedroom	.3715
10	2-bedroom	.3715
11	2-bedroom	.3715
12	2-bedroom	.3715
13	2-bedroom	.3715
14	2-bedroom	.3715
15	2-bedroom	.3715
16	2-bedroom	.3715
17	2-bedroom	.3715
18	.2-bedroom	.3715
19	2-bedroom	.3715

20	2-bedroom	.3715
21	3-bedroom	.4905
22	3-bedroom	.4834
23	2-bedroom	.4784
24	2-bedroom	.4784
25	3-bedroom	.4834
26	3-bedroom	.4905
27	3-bedroom	.4905
28	3-bedroom	.4834
29	2-bedroom	.4784
30	2-bedroom	.4784
31	3-bedroom	.4834
32	3-bedroom	.4905
33	3-bedroom	.4731
34	3-bedroom	.4659
35	2-bedroom	.4579
36	2-bedroom	.4363
37	3-bedroom	.4659
38	2-bedroom	.4363
39	2-bedroom	.4610
40	3-bedroom	.4659
41	3-bedroom	.4905
42	3-bedroom	.4905
43	3-bedroom	.4834
44	2-bedroom	.4784
45	2-bedroom	.4610
46	3-bedroom	.4659
47	3-bedroom	.4731
48	2-bedroom	.4363
49	3-bedroom	.4659
50	2-bedroom	.4363
51	3-bedroom	.4731
52	3-bedroom	.4659
53	2-bedroom	.4579
54	3-bedroom	.4731
55	3-bedroom	.4659
56	2-bedroom	.4579
57	2-bedroom	.4363
58	3-bedroom	.4659
59	2-bedroom	.4363
60	2-bedroom	.3715
61	2-bedroom	.3715
62	2-bedroom	.3715
63	2-bedroom	.3715
64	3-bedroom	.4731
65	3-bedroom	.4659
66	2-bedroom	.4610
67	2-bedroom	.4363
68	3-bedroom	.4659
69	2-bedroom	.4363
70	3-bedroom	.4731
71	3-bedroom	.4659
72	2-bedroom	.4610
73	2-bedroom	.4659
74	3-bedroom	.4659
75	2-bedroom	.4363
76	3-bedroom	.4731
77	3-bedroom	.4659
78	2-bedroom	.4610
79	3-bedroom	.4731
80	3-bedroom	.4659
81	2-bedroom	.4610
82	2-bedroom	.4659
83	3-bedroom	.4659

84	2-bedroom	.4363
85	2-bedroom	.4659
86	3-bedroom	.4659
87	2-bedroom	.4363
88	3-bedroom	.4731
89	3-bedroom	.4659
90	2-bedroom	.4610
91	2-bedroom	.4610
92	3-bedroom	.4659
93	3-bedroom	.4731
94	3-bedroom	.4731
95	3-bedroom	.4659
96	2-bedroom	.4610
97	2-bedroom	.4610
98	3-bedroom	.4659
99	3-bedroom	.4731
100	3-bedroom	.4659
101	3-bedroom	.4659
102	2-bedroom	.4363
103	2-bedroom	.4363
104	3-bedroom	.4659
105	3-bedroom	.4659
106	3-bedroom	.4659
107	3-bedroom	.4659
108	2-bedroom	.4363
109	3-bedroom	.4659
110	3-bedroom	.4659
111	2-bedroom	.4363
112	2-bedroom	.4363
113	3-bedroom	.4659
114	3-bedroom	.4659
115	2-bedroom	.4610
116	3-bedroom	.4659
117	3-bedroom	.4731
118	3-bedroom	.4731
119	3-bedroom	.4659
120	2-bedroom	.4610
121	2-bedroom	.4659
122	3-bedroom	.4659
123	3-bedroom	.4363
124	3-bedroom	.4659
125	3-bedroom	.4659
126	2-bedroom	.4363
127	2-bedroom	.4731
128	3-bedroom	.4659
129	3-bedroom	.4610
130	3-bedroom	.4731
131	3-bedroom	.4659
132	2-bedroom	.4610
133	2-bedroom	.4610
134	3-bedroom	.4659
135	3-bedroom	.4731
136	2-bedroom	.5347
137	3-bedroom	.5822
138	3-bedroom	.6101
139	2-bedroom	.5900
140	2-bedroom	.5551
141	3-bedroom	.6042
142	3-bedroom	.6235
143	2-bedroom	.6120
144	2-bedroom	.5347
145	3-bedroom	.5822
146	3-bedroom	.6101

147	2-bedroom	.5900
148	3-bedroom	.6101
149	3-bedroom	.5822
150	2-bedroom	.5347
151	2-bedroom	.5900
152	3-bedroom	.6101
153	3-bedroom	.5822
154	2-bedroom	.5347
155	2-bedroom	.5900
156	3-bedroom	.6101
157	3-bedroom	.5822
158	2-bedroom	.5347
159	2-bedroom	.5900
160	3-bedroom	.6101
161	3-bedroom	.5822
162	2-bedroom	.5347
163	2-bedroom	.5900
164	3-bedroom	.6101
165	3-bedroom	.5822
166	2-bedroom	.5347
167	2-bedroom	.5900
168	3-bedroom	.6101
169	3-bedroom	.5822
170	2-bedroom	.5347
171	2-bedroom	.5551
172	3-bedroom	.6042
173	3-bedroom	.6235
174	2-bedroom	.6120
175	3-bedroom	.6101
176	3-bedroom	.5822
177	2-bedroom	.5347
178	2-bedroom	.5347
179	3-bedroom	.5822
180	3-bedroom	.6101
181	2-bedroom	.6120
182	3-bedroom	.6235
183	3-bedroom	.6042
184	2-bedroom	.5551
185	2-bedroom	.5347
186	3-bedroom	.5822
187	3-bedroom	.6101
188	2-bedroom	.5900
189	2-bedroom	.5900
190	3-bedroom	.6101
191	3-bedroom	.5822
192	2-bedroom	.5347
193	3-bedroom	.6101
194	3-bedroom	.5822
195	2-bedroom	.5347
196	2-bedroom	.5900
197	3-bedroom	.6101
198	3-bedroom	.5822
199	2-bedroom	.5347
200	2-bedroom	.5900
201	3-bedroom	.6101
202	3-bedroom	.5822
203	2-bedroom	.5347

3. Amended Sheets 1, 2, 3, 3E, 3F, 4E, 4F, 5E, 5F and 24 through 31 of the Condominium Subdivision Plan of Streamwood Estates as attached hereto shall replace and supersede Sheets 1, 2, 3, 3E, 3F, 4E, 4F, 5F and 24 through 31 of the Condominium Subdivision Plan of Streamwood Estates as originally recorded and subsequently amended and the originally recorded and amended Sheets 1, 2, 3, 3E,



3F, 4E, 4F, 5E, 5F and 24 through 31 shall be of no further force or effect. The legal description of the Condominium Premises contained on said Amended Sheet 1 shall replace and supersede the description of said premises contained in Article II of the originally recorded Master Deed, as subsequently amended.

4. Sheets 3G, 3H, 4G, 4H, 5G and 5H of the Condominium Subdivision Plan of Streamwood Estates as attached hereto, shall supplement and be incorporated in the Condominium Subdivision Plan of Streamwood Estates, as amended.

5. Article VI of said Master Deed of Streamwood Estates shall be amended by replacement of the first two sentences by the following statements:

The Condominium Project established pursuant to the initial Master Deed of Streamwood Estates as subsequently expanded to 203 Units includes the first eight phases of a multi-stage Project to contain in its entirety a maximum of 340 Units. Developer owns or is interested in certain additional land described as follows:

A parcel of land being part of the Southwest 1/4 of Section 21, Town 3 North, Range 11 East, Avon Township, Oakland County, Michigan, being described as beginning at a point distant North 1 degree 34 minutes 36 seconds West, 60.02 feet to a point on the Northerly 60-foot right-of-way line of Hamlin Road; thence along the said Northerly right-of-way line North 89 degrees 57 minutes 21 seconds West, 18.29 feet; thence North 2 degrees 51 minutes 34 seconds East, 125.36 feet; thence on a curve to the left having a radius of 500.00 feet, arc 109.59 feet, central angle 12 degrees 33 seconds 28 seconds, chord bearing and distance North 3 degrees 25 minutes 10 seconds West, 109.37 feet; thence North 9 degrees 41 minutes 54 seconds West, 70.00 feet; thence on a curve to the right having a radius of 480.00 feet, arc 789.59 feet, central angle 94 degrees 15 minutes 00 seconds, chord bearing and distance North 37 degrees 25 minutes 36 seconds East, 703.53 feet; thence North 84 degrees 33 minutes 06 seconds East, 325.00 feet; thence on a curve to the left having a radius of 730 feet, arc 484.15 feet, central angle 38 degrees 00 minutes 00 seconds, chord bearing and distance North 65 degrees 33 minutes 06 seconds East, 475.33 feet; thence North 46 degrees 33 minutes 06 seconds East, 126.93 feet from the Southwest corner of said Section 21; proceeding thence North 43 degrees 27 minutes 28 seconds West, 114.83 feet; thence North 46 degrees 33 minutes 06 seconds East, 34.50 feet; thence North 43 degrees 26 minutes 54 seconds West, 67.32 feet; thence North 46 degrees 33 minutes 06 seconds East, 43.05 feet; thence North 43 degrees 26 minutes 54 seconds West, 244.79 feet to the approximate centerline of the Clinton River; thence along the said centerline North 7 degrees 34 minutes 43 seconds East, 84.17 feet and North 50 degrees 59 minutes 54 seconds West, 73.24 feet to the South line of Christian Hills No. 3 Subdivision (Liber 83, Pages 15 and 16); thence along the said South line South 87 degrees 06 minutes 00 seconds East, 100.00 feet to the East line of Christian Hills No. 3 Subdivision; thence along the said East line North 0 degrees 43 minutes 00 seconds East, 818.19 feet to the South line of Eyster's Avon Estates Subdivision (Liber 58, Page 3); thence along the said South line South 84 degrees 24 minutes 09 seconds East, 510.20 feet; thence South 0 degrees 19 minutes 46 seconds West, 1097.79 feet; thence on a curve concave to the Northeast having a radius of 42.00 feet, arc 33.06 feet, central angle 45 degrees 05 minutes 57 seconds, chord bearing and distance North 67 degrees 07 minutes 15 seconds West, 32.21 feet; thence along a curve to the left having a radius of 60.00 feet, arc 94.46 feet; central angle 90 degrees 11 minutes 54 seconds, chord bearing and distance North 89 degrees 40 minutes 14 seconds West, 85.00 feet; thence along a curve to the right having a radius of 42.00 feet, arc 33.06 feet, central angle 45 degrees 05 minutes 57 seconds, chord bearing and distance South 67 degrees 46 minutes 48 seconds West, 32.21 feet; thence North 89 degrees 40 minutes 14 seconds West, 24.49 feet to a point of curvature; thence along a curve to the left having a radius of 260.00 feet, arc 198.66 feet, central angle 43 degrees 46 minutes 40 seconds, chord bearing and distance South 68 degrees 26 minutes 26 seconds West, 193.86 feet; thence South 46 degrees 33 minutes 06 seconds West, 128.07 feet to the point of beginning. Said parcel containing 14.452 acres.

and

A parcel of land being part of the Southwest 1/4 of Section 21, Town 3 North, Range 11 East, Avon Township, Oakland County, Michigan, being described as beginning at a point distant North 1 degree 34 minutes 36 seconds West, 60.02 feet to a point on the Northerly right-of-way line of Hamlin Road; thence along said Northerly right-of-way line North 86 degrees 48 minutes 06 seconds East,

261.52 feet; thence North 3 degrees 11 minutes 51 seconds West, 173.00 feet; thence North 86 degrees 48 minutes 09 seconds East, 584.92 feet to the Northerly right-of-way line of the Grand Trunk Railroad 100 feet wide; thence along said Northerly right-of-way line North 57 degrees 03 minutes 09 seconds East, 106.33 feet; and on a curve to the left having a radius of 5501.18 feet, arc 677.91 feet, central angle 7 degrees 03 minutes 38 seconds, chord bearing and distance North 53 degrees 33 minutes 56 seconds East, 677.48 feet from the Southwest corner of said Section 21; proceeding thence North 43 degrees 26 minutes 54 seconds West, 456.55 feet; thence along a curve concave to the Northwest having a radius of 790.00 feet, arc 52.04 feet, central angle 3 degrees 46 minutes 27 seconds, chord bearing and distance North 48 degrees 26 minutes 20 seconds East, 52.03 feet; thence North 46 degrees 33 minutes 06 seconds East, 255.00 feet to a point of curvature; thence along a curve to the right having a radius of 200.00 feet, arc 152.81 feet, central angle 43 degrees 46 minutes 40 seconds, chord bearing and distance North 68 degrees 26 minutes 26 seconds East, 149.12 feet; thence South 89 degrees 40 minutes 14 seconds East, 24.49 feet to a point of curvature; thence along a curve to the right having a radius of 42.00 feet, arc 33.06 feet, central angle 45 degrees 05 minutes 57 seconds, chord bearing and distance South 67 degrees 07 minutes 15 seconds East, 32.21 feet; thence along a curve to the left having a radius of 60.00 feet, arc 94.46 feet, central angle 90 degrees 11 minutes 54 seconds, chord bearing and distance South 89 degrees 40 minutes 14 seconds East, 85.00 feet; thence along a curve to the right having a radius of 42.00 feet, arc 33.06 feet, central angle 45 degrees 05 minutes 57 seconds, chord bearing and distance North 67 degrees 46 minutes 48 seconds East, 32.21 feet; thence North 0 degrees 19 minutes 46 seconds East, 404.83 feet to the Northwesterly right-of-way line of the Grand Trunk Railroad 100 feet wide; thence along the said Northwesterly right-of-way line on a curve concave to the Northwest having a radius of 5501.18 feet, arc 287.51 feet, central angle 2 degrees 59 minutes 40 seconds, chord bearing and distance South 48 degrees 32 minutes 17 seconds West, 287.47 feet to the point of beginning. Said parcel containing 4.663 acres (hereinafter referred to as "future development").

In all respects, other than as hereinabove indicated, the original Master Deed of Streamwood Estates as heretofore amended, including the Bylaws and Condominium Subdivision Plan respectively attached thereto as Exhibits A and B, recorded as aforesaid, is hereby ratified, confirmed and redeclared.

WITNESSES:

/s/ Marie H. Goodspeed  
Marie H. Goodspeed

/s/ Catherine Kim Shierk  
Catherine Kim Shierk

STREAMWOOD ESTATES, a  
Michigan co-partnership

By: /s/ Donald G. VanEvery  
Donald G. VanEvery, Partner

STATE OF MICHIGAN            )  
  )    SS.  
COUNTY OF OAKLAND        )

The foregoing Seventh Amendment to Master Deed of Streamwood Estates was acknowledged before me this 20th day of February, 1980, by Donald G. VanEvery, one of the partners of STREAMWOOD ESTATES, a Michigan co-partnership, on behalf of the partnership.

/s/ Catherine Kim Shierk  
Catherine Kim Shierk  
Notary Public,  
WAYNE County  
Michigan  
My commission expires: 1/2/83

SEVENTH AMENDMENT TO MASTER DEED DRAFTED BY:

Robert L. Nelson, of  
Dykema, Gossett, Spencer, Goodnow & Trigg  
35th Floor, 400 Renaissance Center  
Detroit, Michigan 48243

WHEN RECORDED, RETURN TO DRAFTER.

REPLAT NO. 6 OF  
OAKLAND COUNTY CONDOMINIUM  
SUBDIVISION PLAN № 178  
EXHIBIT B TO THE AMENDED MASTER DEED OF  
STREAMWOOD ESTATES, A CONDOMINIUM  
AVON TOWNSHIP, MICHIGAN

DEVELOPER: STREAMWOOD ESTATES, A MICHIGAN CO-PARTNERSHIP  
30233 SOUTHWIND RD  
SOUTHFIELD, MICHIGAN

SURVEYOR: PATE, HIRN & BOGUE, INC.  
17000 TWELVE MILE RD  
SOUTHFIELD, MICHIGAN

PROPERTY DESCRIPTION

A PARCELS, BEING PART OF THE S.E. 1/4 OF SECTION 20 AND PART OF THE S.W. 1/4 OF SECTION 21, T3N, R1E, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT N 1°34'36" W 60.02 FT TO A POINT ON THE NORTHERLY 60 FT RIGHT-OF-WAY LINE OF HAMLIN ROAD, THENCE N 89°57'21" W 18.29 FT ALONG THE SAID NORTHERLY RIGHT-OF-WAY LINE OF HAMLIN ROAD FROM THE S.E. CORNER OF SAID SECTION 20, PROCEEDING THENCE N 89°57'21" W 31.75 FT, THENCE N 3°44'43" W 75.41 FT, THENCE N 68°15'17" E 79.90 FT TO THE APPROXIMATE CENTERLINE OF THE CLINTON RIVER, THENCE ALONG THE SAID APPROXIMATE CENTERLINE OF THE CLINTON RIVER S 68°44'56" W 36.57 FT, THENCE N 72°04'49" E 190.89 FT, THENCE N 49°52'15" E 175.74 FT, THENCE N 11°02'01" E 245.54 FT, THENCE N 22°17'58" E 104.66 FT, THENCE S 50°22'09" E 377.84 FT, THENCE N 62°42'02" E 104.66 FT, THENCE S 65°40'28" E 80.11 FT, THENCE S 17°09'09" E 169.54 FT, THENCE DUE EAST 202.00 FT, THENCE N 50°03'14" E 104.35 FT, THENCE N 7°34'43" E 160.88 FT, THENCE LEAVING THE SAID APPROXIMATE CENTERLINE OF THE CLINTON RIVER S 43°28'54" E 244.79 FT, THENCE S 43°23'06" W 45.05 FT, THENCE S 43°26'54" E 67.32 FT, THENCE S 46°33'06" W 34.50 FT, THENCE S 43°27'28" E 114.83 FT, THENCE S 46°33'06" W 126.93 FT, TO A POINT OF CURVATURE, THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS 730.00 FT, ARC 484.15 FT, CENTRAL ANGLE 34°13'34", CHORD BEARING AND DISTANCE S 56°33'06" W 475.33 FT, THENCE S 64°33'06" W 325.00 FT TO A POINT OF CURVATURE, THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS 490.00 FT, ARC 789.59 FT, CENTRAL ANGLE 94°15'00", CHORD BEARING AND DISTANCE S 37°25'36" W 703.53 FT, THENCE S 9°41'54" E 70.00 FT TO A POINT OF CURVATURE, THENCE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 500.00 FT, ARC 3°59'57", CENTRAL ANGLE 2°33'28", CHORD BEARING AND DISTANCE S 3°25'10" E 109.37 FT, THENCE S 2°51'34" W 25.36 FT TO THE POINT OF BEGINNING SAID PARCEL CONTAINING 17.940 ACRES AND

A PARCELS, BEING PART OF THE S.W. 1/4 OF SECTION 21, T3N, R1E, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT N 1°34'36" W 60.02 FT TO A POINT ON THE NORTHERLY 60 FT RIGHT-OF-WAY LINE OF HAMLIN ROAD, THENCE N 89°57'21" W 18.29 FT ALONG THE SAID NORTHERLY RIGHT-OF-WAY LINE OF HAMLIN ROAD FROM THE S.E. CORNER OF SAID SECTION 2, PROCEEDING THENCE N 9°41'51" W 33.52 FT TO A POINT OF CURVATURE, THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 420.00 FT, ARC 690.89 FT, CENTRAL ANGLE 94°15'00", CHORD BEARING AND DISTANCE N 37°25'36" E 615.59 FT, THENCE N 84°33'06" E 325.00 FT TO A POINT OF CURVATURE, THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 790 FT, ARC 471.91 FT, CENTRAL ANGLE 34°13'34", CHORD BEARING AND DISTANCE N 6°26'46" E 462.93 FT, THENCE S 43°26'54" E 456.55 FT TO A POINT ON A CURVE, SAID POINT ALSO BEING ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF THE GRAND TRUNK RAILROAD, 100 FT WIDE, THENCE ALONG THE SAID NORTHEASTERLY RIGHT-OF-WAY LINE ON A CURVE CONCAVE TO THE NORTHWEST HAVING A RADIUS 550.18 FT, ARC 677.91 FT, CENTRAL ANGLE 7°03'39", CHORD BEARING AND DISTANCE S 53°33'56" W 677.48 FT, THENCE S 57°03'09" W 106.33 FT, THENCE LEAVING THE SAID NORTHEASTERLY RIGHT-OF-WAY LINE S 86°43'29" W 584.92 FT, THENCE S 3°11'51" E 173.00 FT, THENCE S 86°48'06" W 179.81 FT TO THE POINT OF BEGINNING SAID PARCEL CONTAINING 7.814 ACRES

SURVEYOR'S CERTIFICATE

I, JOHN F. DE BUSCHER, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF MICHIGAN, AND THAT THE SUBDIVISION PLAN KNOWN AS OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN № 178, AS SHOWN ON THE ACCOMPANYING DRAWINGS REPRESENTS A SURVEY ON THE GROUND MADE UNDER MY DIRECTION AND THAT THE SAID SURVEY IS TRUE AND COMPLETE AS SHOWN, THAT THE IRONS WILL BE OF THE CHARACTER AND OCCUPY THE POSITIONS AS INDICATED, ALL AS SHOWN ON SAID MAP AND WILL BE SUFFICIENT TO EMULATE THE SURVEY TO BE REFRACTED

I, FURTHER CERTIFY THAT THE SURVEY PLAN, SHOWN HEREWITH, IS A CORRECT ONE, AND THAT PERMANENT IRON MONUMENTS CONSISTING OF STAKES NOT LESS THAN ONE-HALF INCH IN DIAMETER AND EIGHTEEN INCHES IN LENGTH, HAVE BEEN SET AT POINTS MARKED THUS (X) AS HEREON SHOWN AT ALL ANGLES IN THE BOUNDARIES OF THE SAID SURVEY AS INCLUDED HEREWITH EXCEPT AS OTHERWISE NOTED

DATED 9-1-79



JOHN F. DE BUSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 0684  
7000 TWELVE MILE RD  
SOUTHFIELD, MICHIGAN  
48076

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- \* 2. TOTAL PROJECT PLAN
- \* 3. SURVEY PLAN
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- \* 3B. SURVEY PLAN
- \* 3C. SURVEY PLAN
- \* 3D. SURVEY PLAN
- \* 3E. SURVEY PLAN
- \* 3F. SURVEY PLAN
- \* 3G. SURVEY PLAN
- \* 3H. SURVEY PLAN
- \* 4. UTILITY PLAN
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- \* 4D. UTILITY PLAN
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- \* 5G. SITE PLAN
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- \* 7. TOWNHOUSE FLOOR PLAN TYPICAL UNIT B, BB, REVERSE
- \* 8. TOWNHOUSE FLOOR PLAN TYPICAL UNIT C, CC, REVERSE
- \* 9. CROSS SECTIONS A, LONGITUDINAL SECTIONS, TOWNHOUSE TYPICAL UNITS A, B, C, AA, BB, C, CC, REVERSE
- \* 10. CROSS SECTIONS, TOWNHOUSE TYPICAL UNITS B, A, C, BB, A, C, C, REVERSE
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- \* 13. TRIPLEX FLOOR PLAN TYPICAL UNIT X, XX, REVERSE
- \* 14. TRIPLEX FLOOR PLAN TYPICAL UNIT Y, YY, REVERSE
- \* 15. CROSS SECTION A, LONGITUDINAL SECTION, TRIPLEX TYPICAL UNITS X, Y, X, Y, X, Y, X, Y, Z, Z, REVERSE
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- \* 23. CROSS SECTION A, LONGITUDINAL SECTION, BLDGS 11, 36, 37, 38, 39, 40
- \* 24. PERIMETER PLAN, BLDGS 46, 47, 48, 49, 50, 51, 52, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71
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- \* 26. FLOOR PLANS TYPICAL UNIT E, EE, REVERSE
- \* 27. FLOOR PLANS TYPICAL UNIT F, FF, REVERSE
- \* 28. FLOOR PLANS TYPICAL UNIT G, GG, REVERSE
- \* 29. CROSS SECTION, TYPICAL UNITS D, B, C, D, C, E, E, REVERSE
- \* 30. CROSS SECTION, TYPICAL UNITS F, B, G, F, B, G, REVERSE
- \* 31. FLOOD PLAN PLAN

NOTE:  
STREAMWOOD ESTATES IS A MULTI-PHASE CONDOMINIUM PROJECT THE MASTER DEED (1) INDICATES AMENDED OR NEW SHEETS WHICH ARE REVISED DATED 9-1-79 THESE SHEETS WITH THIS SUBMISSION ARE TO REPLACE OR BE SUPPLEMENTAL SHEETS TO THOSE PREVIOUSLY RECORDED

APPROVED

9-1-79

CURVE SEGMENT	RADIUS	ARC	DELTA	CHORD BEARING	CHORD
M-25	730'	194.63	15° 16' 32"	N 54° 11' 22" E	194.05'
24-23	260'	198.66	43° 46' 40"	N 68° 26' 26" E	193.86'
44-43	42'	33.06	45° 05' 57"	N 67° 46' 48" E	32.21'
45-46	60'	94.46	90° 11' 54"	S 89° 40' 14" E	85.00'
46-47	42'	33.06	45° 05' 57"	S 67° 07' 15" E	32.21'
48-49	42'	33.06	45° 05' 57"	S 67° 46' 48" W	32.21'
49-50	60'	94.46	90° 11' 54"	N 89° 40' 14" W	85.00'
50-51	42'	33.06	45° 05' 57"	N 67° 07' 15" W	32.21'
37-36	200'	162.87	43° 46' 40"	S 68° 26' 26" W	149.12'
35-36	790'	57.04	3° 46' 27"	S 48° 26' 20" W	58.03'
M-39	\$501.18	287.51	2° 59' 40"	N 48° 32' 17" E	287.47'

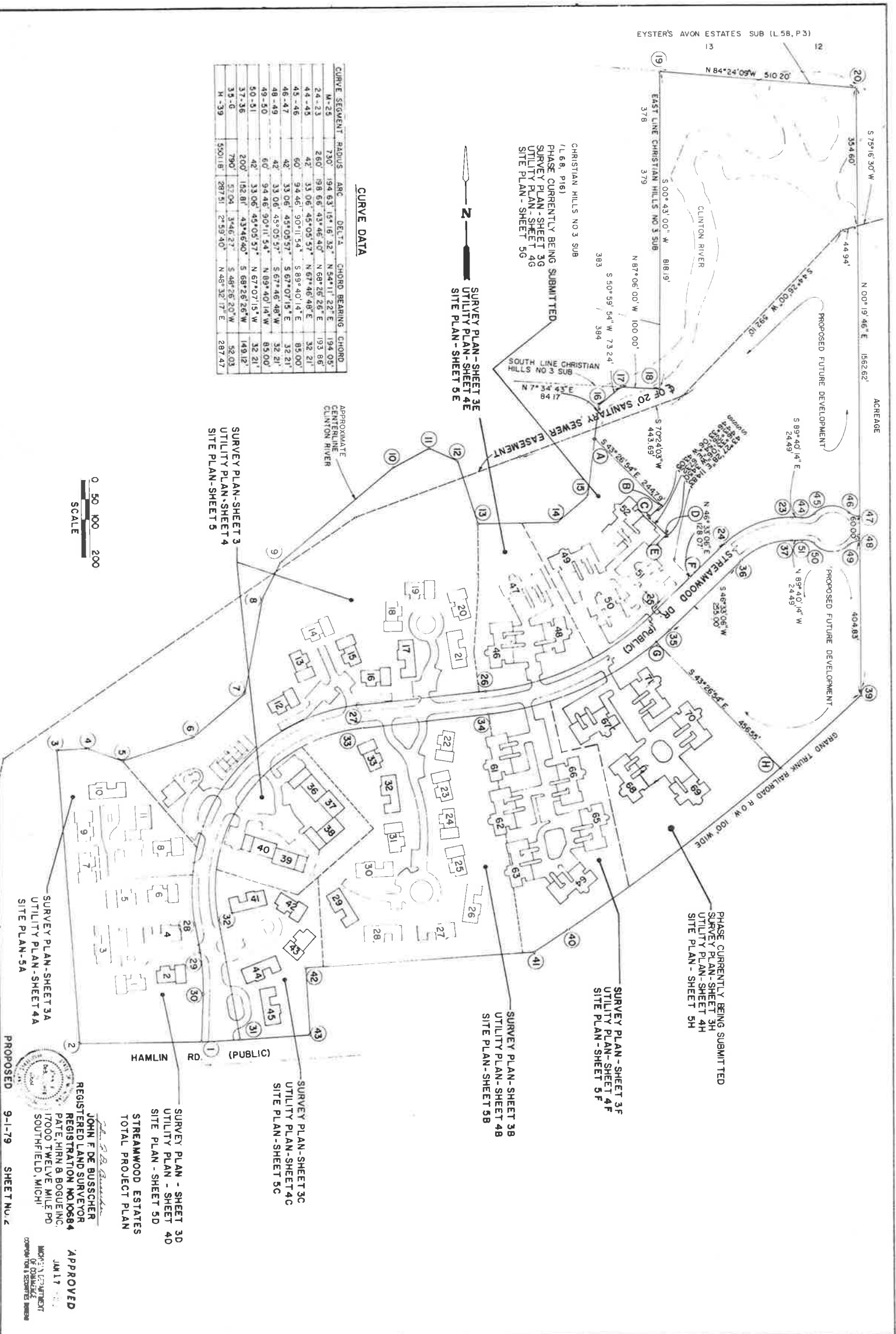
CURVE DATA

CHRISTIAN HILLS NO 3 SUB  
1/68, P16  
PHASE CURRENTLY BEING SUBMITTED  
SURVEY PLAN-SHEET 3G  
UTILITY PLAN-SHEET 4G  
SITE PLAN-SHEET 5G

SURVEY PLAN-SHEET 3E  
UTILITY PLAN-SHEET 4E  
SITE PLAN-SHEET 5E

SURVEY PLAN-SHEET 3  
UTILITY PLAN-SHEET 4  
SITE PLAN-SHEET 5

APPROXIMATE  
CENTRAL LINE  
CLINTON RIVER



ACREAGE

404.83

456.55

456.55

456.55

456.55

456.55

456.55

456.55

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED AND THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS AND PROPERTY DESCRIBED.

DATE 9/1/79

JOHN F. DEBUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
1700 TWELVE MILE RD  
SOUTHFIELD, MICHIGAN

ACREAGE  
OWNER: W. JACKSON

APPROXIMATE CENTERLINE  
OF THE CLINTON RIVER

SANITARY INTERCEPTOR  
& 20' EASEMENT RECORDED  
IN LIBER 5091, PAGE 869,  
OAKLAND COUNTY RECORDS,  
OAKLAND COUNTY, MICHIGAN

NOTE:  
ALL BEARINGS WERE BASED UPON THE EAST  
LINE OF CHRISTIAN HILLS N 3° SUB., RECORDED IN  
LIBER 83 PAGES 15 & 16 OAKLAND COUNTY RECORDS,  
OAKLAND COUNTY, MICHIGAN.

MATCH LINE  
SHEET 3A

MATCH LINE  
SHEET 3C

MATCH LINE  
SHEET 3B

MATCH LINE  
SHEET NO. 3 E

COMMUNITY  
BLDG

SWIMMING POOL

TENNIS COURT

MEADOW DALE COURT (PRIVATE)

COURT (PRIVATE)

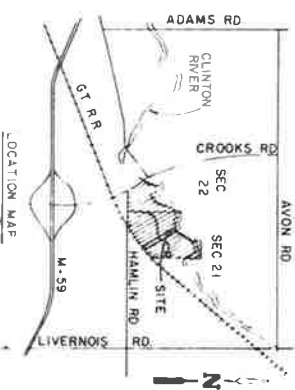
COURT (PRIVATE)

VANHILL

STREAMWOOD ESTATES

ARC 690.89'  
CHORD BRG. N 37°25'36" E  
RADIUS 420.00'  
DELTA 94°15'00"

ARC 789.59'  
CHORD BRG. S 37°25'36" W  
RADIUS 480.00'  
DELTA 94°15'00"

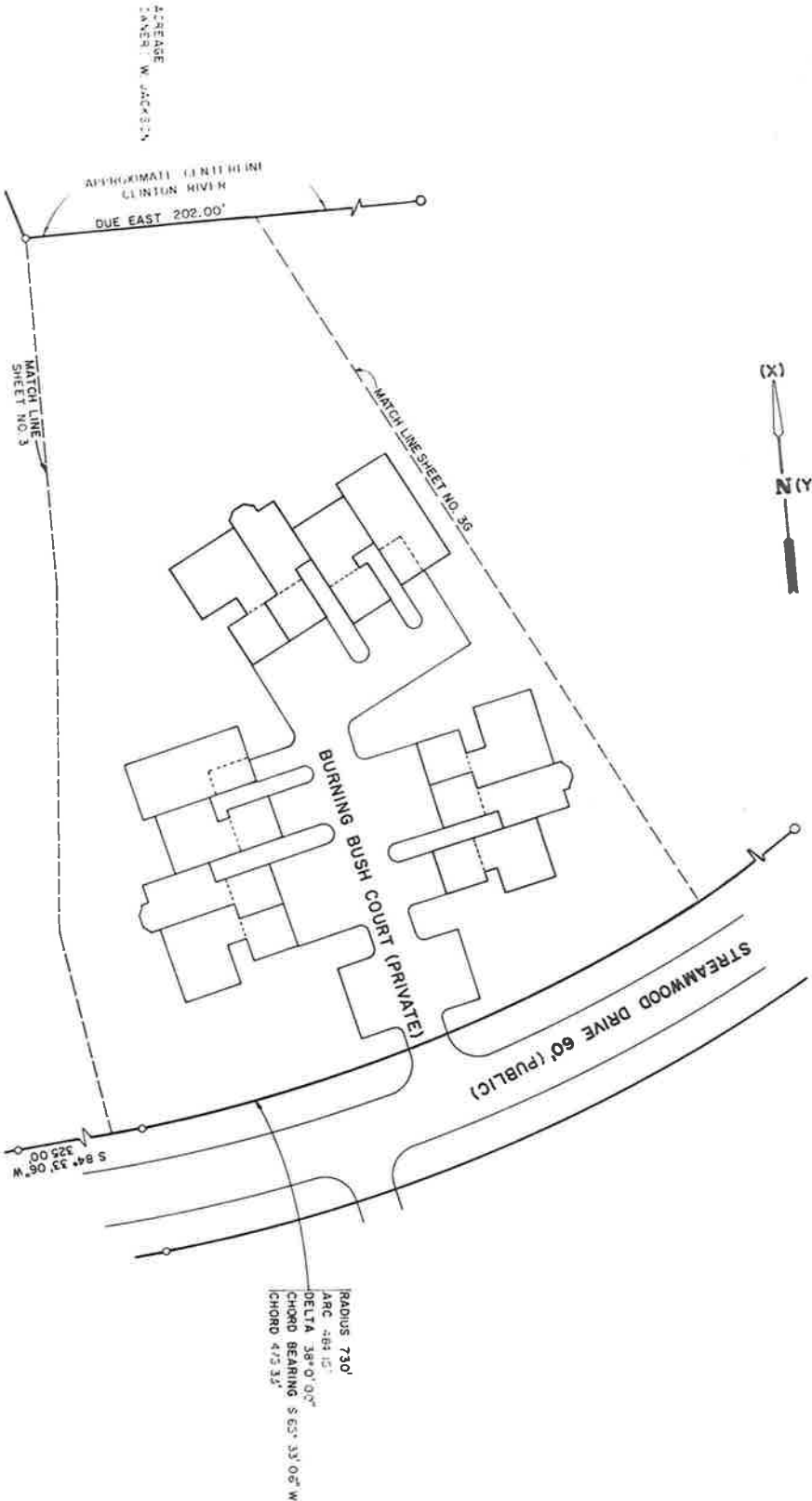
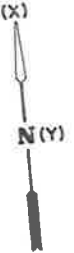


PROPOSED 9/1/79 SHEET NO.

APPROVED  
JAN 17 1980  
MICHIGAN DEPARTMENT  
OF CONSERVATION

PATE, HIRN & BOGUE INC.  
1700 TWELVE MILE RD  
SOUTHFIELD, MICHIGAN

SURVEY PLAN



ADDRESS  
LAWER: W. JACKSON

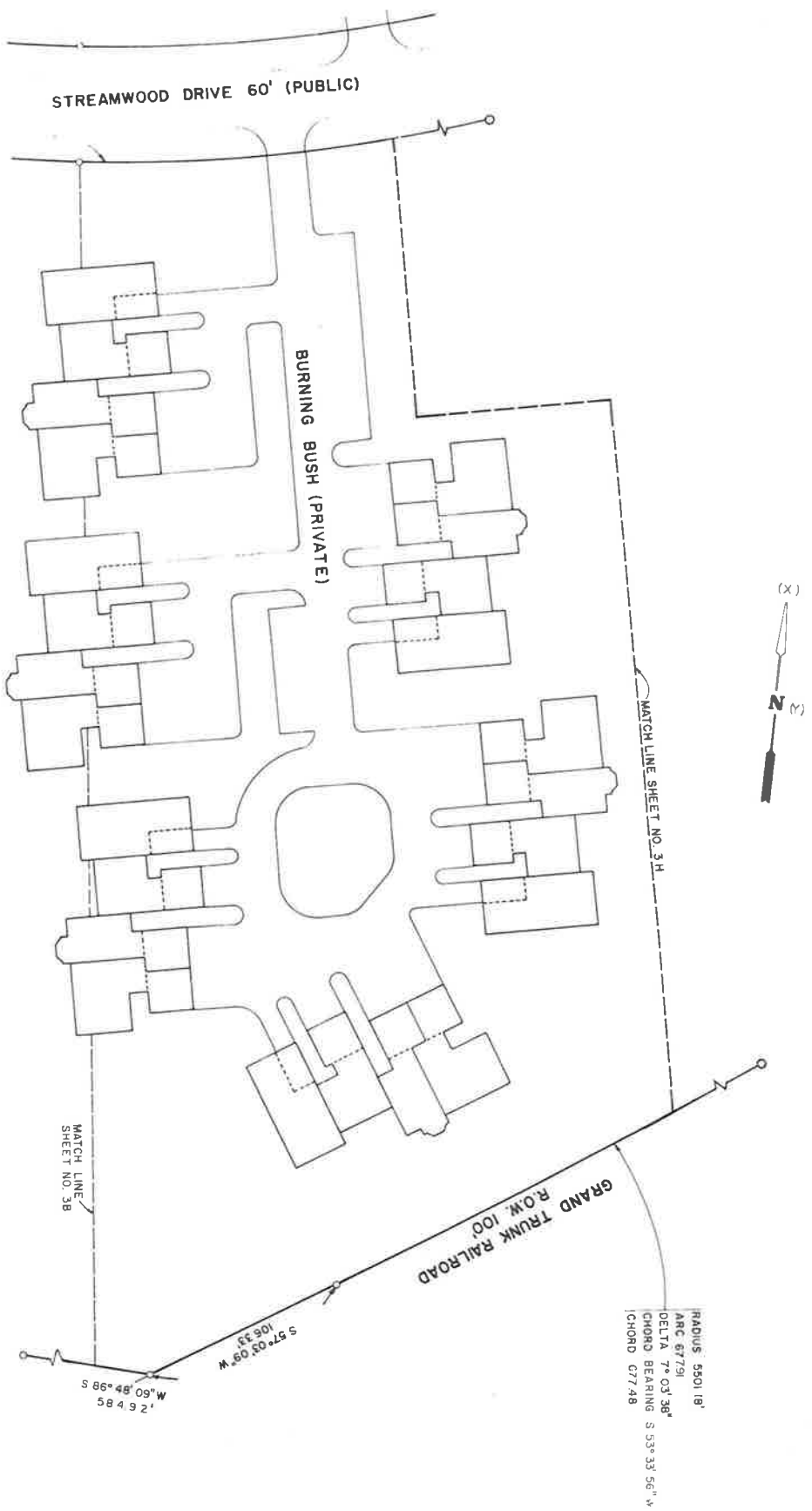
NOTE  
ALL BEARINGS WERE BASED UPON THE EAST  
LINE OF CHRISTIAN HILLS N.E. 3' SUB. RECORDED IN  
LIBER 83 PAGES 15 & 16 OAKLAND COUNTY RECORDS,  
OAKLAND COUNTY, MICHIGAN



JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

APPROVED  
JAN 17 1979  
JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
STATE OF MICHIGAN

SURVEYOR'S CERTIFICATE  
THIS IS TO CERTIFY THAT I HAVE SURVEYED  
THE PROPERTY HEREIN DESCRIBED AND THAT  
THERE ARE NO EXISTING ENCROACHMENTS  
UPON THE LANDS AND PROPERTY DESCRIBED.  
STREAMWOOD ESTATES  
SURVEY PLAN



RADIUS 790'  
ARC 471.91'  
DELTA 24° 13' 34"  
CHORD BEARING N 37° 16' 15" E  
CHORD 464.93'

RADIUS 5501.18'  
ARC 677.91'  
DELTA 7° 03' 38"  
CHORD BEARING S 33° 33' 56" W  
CHORD 677.48'

NOTE  
ALL BEARINGS WERE BASED UPON THE EAST  
LINE OF "CHRISTIAN HILLS No. 3" SUB. RECORDED IN  
LIBER 83 PAGES 15 & 16 OAKLAND COUNTY RECORDS,  
OAKLAND COUNTY, MICHIGAN

**SURVEYORS CERTIFICATE**  
THIS IS TO CERTIFY THAT I HAVE SURVEYED  
THE PROPERTY HEREIN DESCRIBED AND THAT  
THERE ARE NO EXISTING ENCROACHMENTS  
UPON THE LANDS AND PROPERTY DESCRIBED.

**STREAMWOOD ESTATES  
SURVEY PLAN**

0 25 50  
SCALE



*John F. De Busscher*  
**JOHN F. DE BUSSCHER**  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

PROPOSED

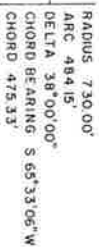
9-1-79

SHEET NO. 3F

**APPROVED**

JAN 17 1979

MICHIGAN DEPARTMENT  
OF COMMERCE  
DIVISION OF RECORDS & SURVEYS



APPROVED  
JUN 17 1952  
MISSOURI DEPARTMENT  
OF COMMERCE  
REGISTRATION & SECURITIES DIVISION



NOTE:  
ALL BEARINGS WERE BASED UPON THE EAST  
LINE OF "CHRISTIAN HILLS, N° 3" SUB, RECORDED IN  
LIBER 83, PAGES 15 & 16 OAKLAND COUNTY RECORDS,  
OAKLAND COUNTY, MICHIGAN.



PROPOSED FUTURE DEVELOPMENT  
S 43° 26' 54" E 455.55'

GRAND TRUNK RAILROAD ROW 100' WD.

RADIUS 5501.18'  
ARC 677.91  
DELTA 7° 03' 38"  
CHORD BEARING S 53° 33' 56" W  
CHORD 677.48

CHRISTY COURT (PRIVATE)

STREAMWOOD DRIVE 60' WD  
(PUBLIC)

MATCH LINE  
SHEET NO. 3F

SURVEYOR'S CERTIFICATE  
THIS IS TO CERTIFY THAT I HAVE SURVEYED  
THE PROPERTY HEREIN DESCRIBED AND THAT  
THERE ARE NO EXISTING ENCROACHMENTS  
UPON THE LANDS AND PROPERTY DESCRIBED.

STREAMWOOD ESTATES  
SURVEY PLAN

*John F. De Buscher*  
JOHN F. DE BUSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOQUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

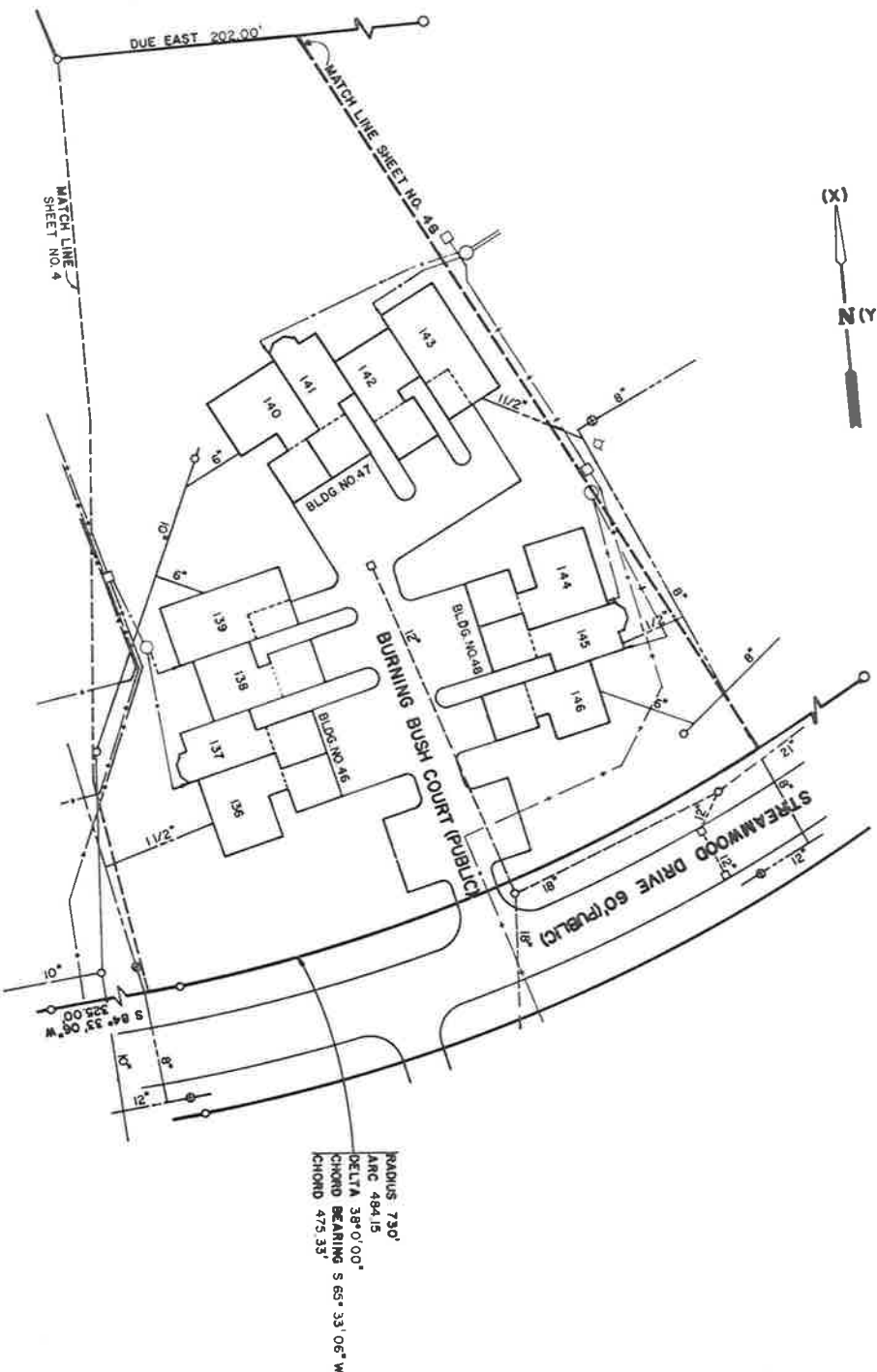
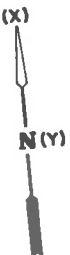


PROPOSED

9-1-79

SHEET NO. 3H

APPROVED  
JAN 17 1979  
MICHIGAN DEPARTMENT  
OF COMMERCE  
CORPORATION SERVICES DIVISION



**UTILITY**

WATER MAIN  
SANITARY SEWER  
STORM SEWER  
GAS MAIN  
POWER  
TELEPHONE

**SOURCE OF LOCATION**

PATE, HIRN & BOGUE INC.  
CONSUMERS POWER CO.  
DETROIT EDISON CO.  
MICHIGAN BELL TELEPHONE CO.

**LEGEND**

- HYDRANT
- WATER GATE
- WATER MAIN
- MANHOLE
- SANITARY SEWER
- CATCH BASIN
- STORM SEWER
- GAS VALVE
- GAS MAIN
- PEDESTAL
- SECONDARY PEDESTAL
- POWER & TELEPHONE

**NOTE**

GAS MAINS AND 4" STORM SEWER LEADS WILL BE SHOWN ON AS BUILT DRAWINGS



**STREAMWOOD ESTATES  
UTILITY PLAN**

JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

**APPROVED**

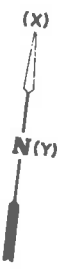
JAN 17 1970

MICHAEL J. LAMBERT  
LAND SURVEYOR

PROPOSED

9-1-79

SHEET NO. 4



**UTILITY**

WATER MAIN  
SANITARY SEWER  
STORM SEWER  
GAS MAIN  
POWER  
TELEPHONE

**SOURCE OF LOCATION**

PATE, HIRN & BOGUE, INC.  
CONSUMERS POWER CO.  
DETROIT EDISON CO.  
MICHIGAN BELL TELEPHONE CO.

**LEGEND**

- HYDRANT
- WATER GATE
- WATER MAIN
- MANHOLE
- SANITARY SEWER
- CATCH BASIN
- STORM SEWER
- GAS VALVE
- GAS MAIN
- PEDESTAL
- SECONDARY PEDESTAL
- POWER & TELEPHONE
- CABLE POWER POLE

**NOTE**

GAS MAINS AND 4" STORM SEWER LEADS WILL BE SHOWN ON AS BUILT DRAWINGS

**STREAMWOOD ESTATES**  
**UTILITY PLAN**

EACH UTILITY FORMS THE CENTERLINE OF ITS OWN PERMANENT EASEMENT: SANITARY SEWER, STORM SEWER & WATER MAIN 20' EASEMENT POWER, TELEPHONE & GAS MAIN 6' EASEMENT



*John F. De Busscher*  
JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
PATE, HIRN & BOGUE, INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

APPROVED  
JAN 17 1979  
MICHAEL J. BOGUE  
REGISTERED PROFESSIONAL ENGINEER  
NO. 10684

PROPOSED

9-1-79

SHEET NO. 4 F



UTILITY	
WATER MAIN	PATE, HIRN & BOGUE, INC.
SANITARY SEWER	"
STORM SEWER	"
GAS MAIN	"
POWER	CONSUMERS POWER CO.
TELEPHONE	DETROIT EDISON CO.
	MICHIGAN BELL TELEPHONE CO.

EXISTING UTILITY FORMS THE CENTERLINE OF  
SEVEN PERMANENT EASEMENTS: SANITARY  
SEWER, STORM SEWER & WATER MAIN 20'  
EASEMENT, POWER, TELEPHONE & GAS MAIN  
6' EASEMENT.

SOURCE OF LOCATION

LEGEND

- HYDRANT
- WATER GATE
- WATER MAIN
- MANHOLE
- SANITARY SEWER
- STORM SEWER
- GAS MAIN
- PEDESTAL
- SECONDARY PEDESTAL
- POWER & TELEPHONE

NOTE

GAS MAINS AND 4" STORM SEWER LEADS WILL  
BE SHOWN ON AS BUILT DRAWINGS



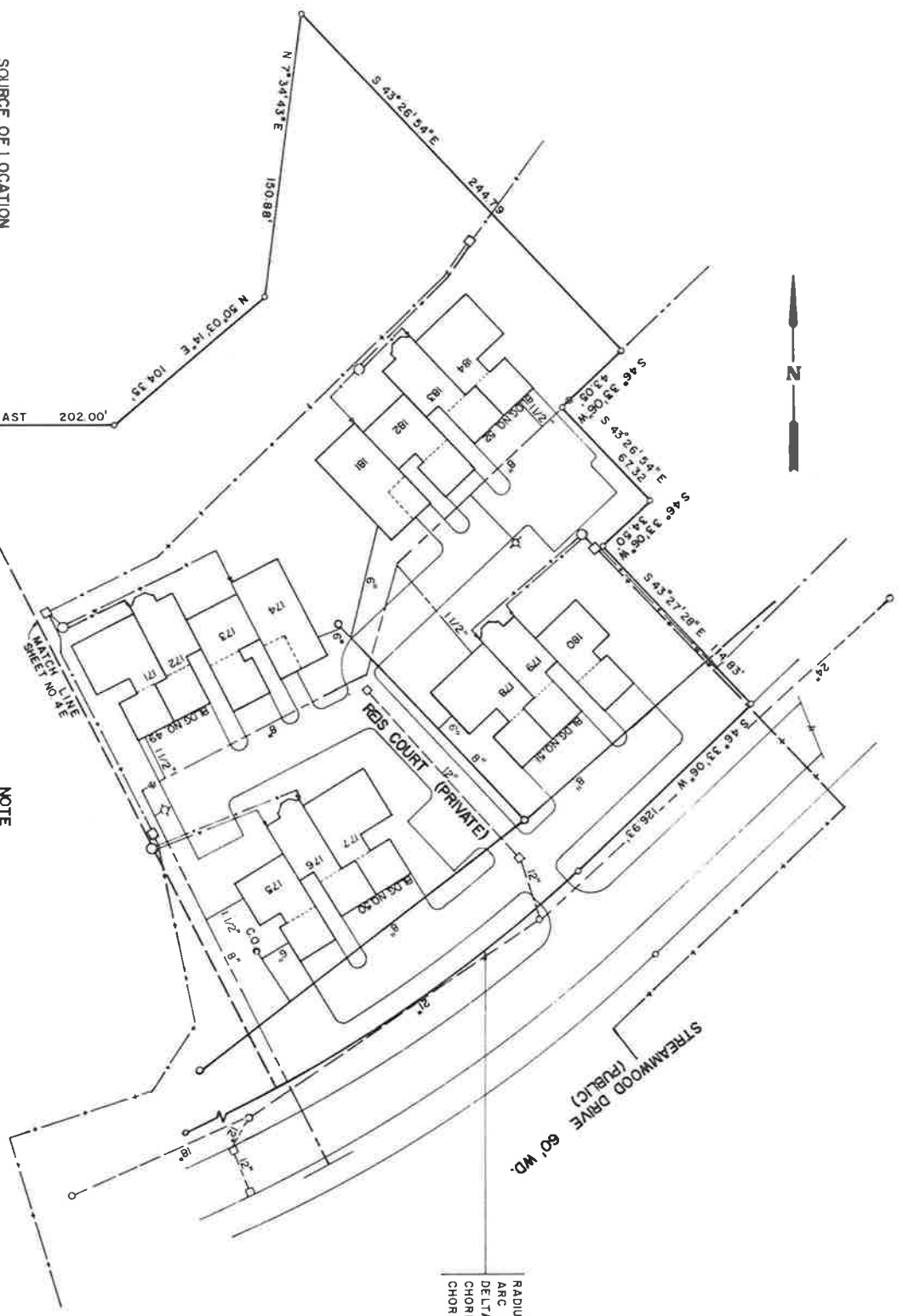
STREAMWOOD ESTATES  
UTILITY PLAN

*John F. De Busscher*  
JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE, INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

APPROVED

JAN 17 1979

PROPOSED  
9-1-79  
SHEET NO. 46

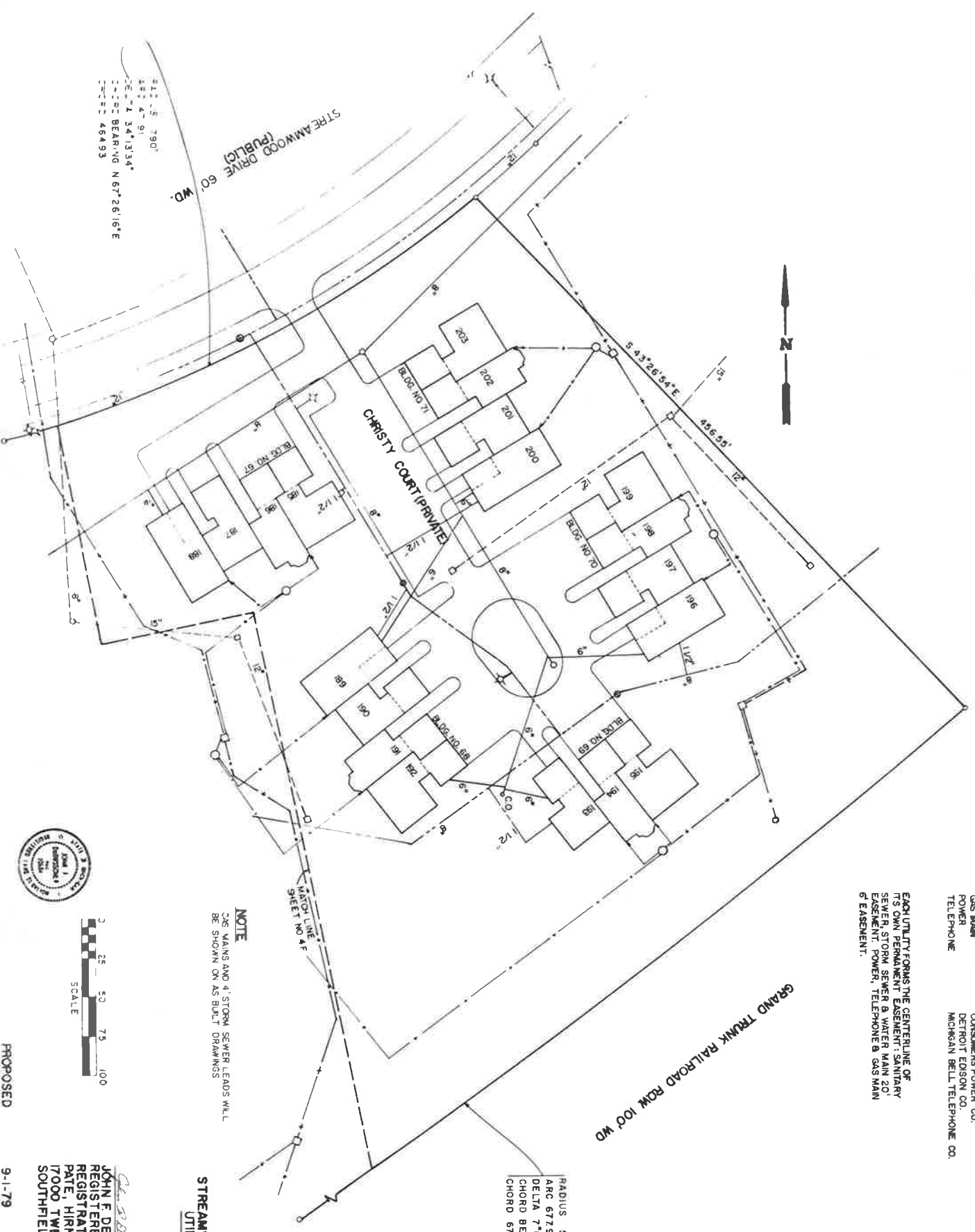


RADIUS 730.00'  
ARC 484.15'  
DELTA 38°00'00"  
CHORD BEARING S 65°33'06" W  
CHORD 475.33'

UTILITY	SOURCE OF LOCATION
WATER MAIN	PATE, HIRN & BOQUE INC.
SANITARY SEWER	" " " "
STORM SEWER	" " " "
GAS MAIN	CONSUMERS POWER CO.
POWER	DETROIT EDISON CO.
TELEPHONE	MICHIGAN BELL TELEPHONE CO.

EACH UTILITY FORMS THE CENTERLINE OF ITS OWN PERMANENT EASEMENT. SANITARY SEWER, STORM SEWER & WATER MAIN 20' EASEMENT. POWER, TELEPHONE & GAS MAIN 6' EASEMENT.

LEGEND
HYDRANT
WATER GATE
WATER MAIN
MANHOLE
SANITARY SEWER
CATCH BASIN
STORM SEWER
GAS VALVE
GAS MAIN
PEDESTAL
SECONDARY PEDESTAL
POWER & TELEPHONE



**NOTE**  
 3/8\" MAINS AND 4\" STORM SEWER LEADS WILL BE SHOWN ON AS BUILT DRAWINGS

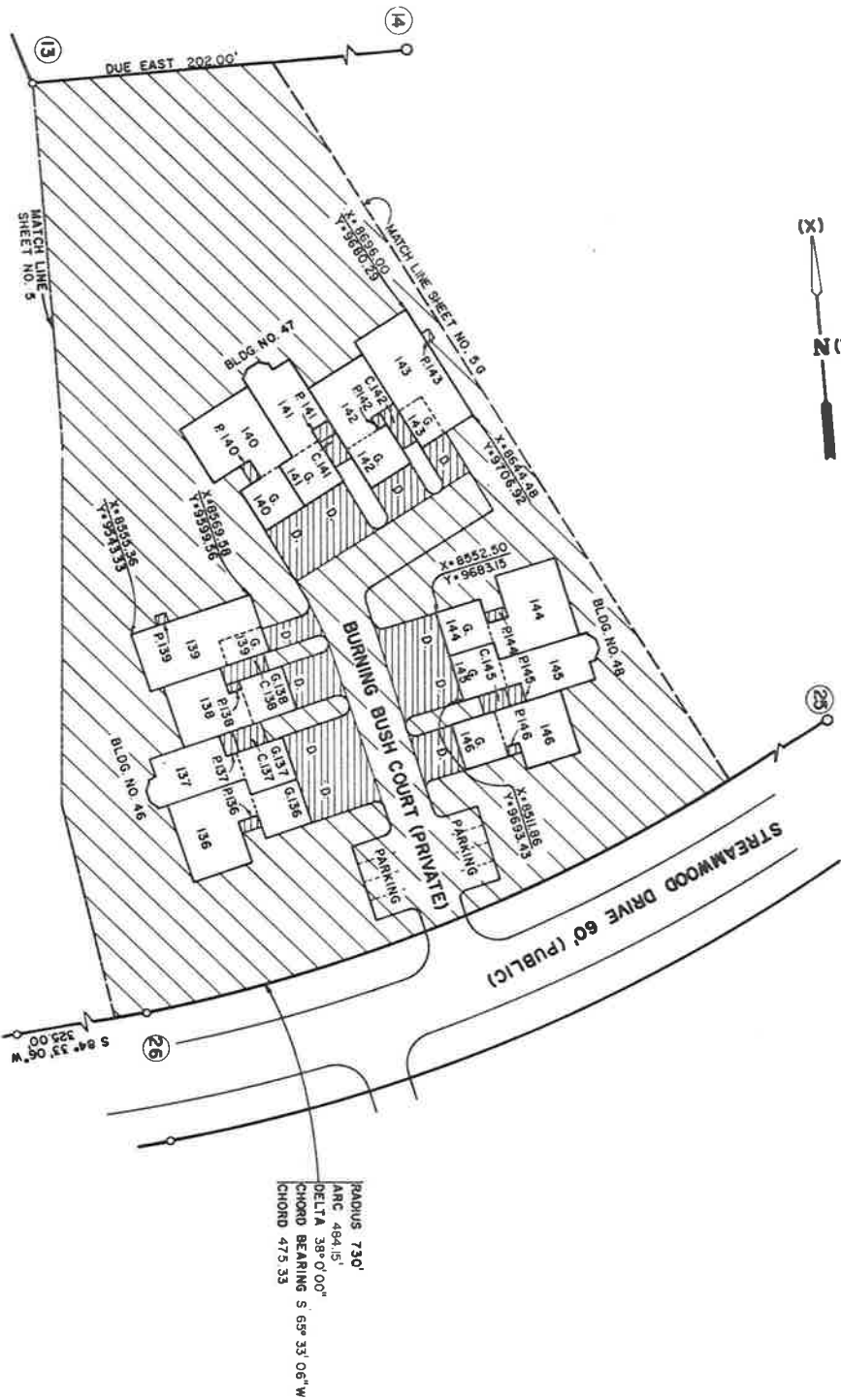
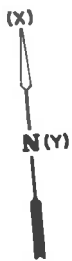
**STREAMWOOD ESTATES  
 UTILITY PLAN**



*John F. DeBuscher*  
 JOHN F. DEBUSCHER  
 REGISTERED LAND SURVEYOR  
 REGISTRATION NO. 10684  
 PATE, HIRN & BOQUE INC.  
 17000 TWELVE MILE RD.  
 SOUTHFIELD, MICHIGAN

PROPOSED 9-1-79 SHEET NO. 4 H

**APPROVED**  
 JAN 17 1979  
 MICHIGAN DEPARTMENT OF LAND & NATURAL RESOURCES



PT.	NORTH	EAST
13	8815.00	9520.00
26	8394.27	9534.36

LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- P. PORCH
- C. COURT YARD
- D. DRIVE WAY
- G. GARAGE

WALKS WILL BE SHOWN "AS BUILT"

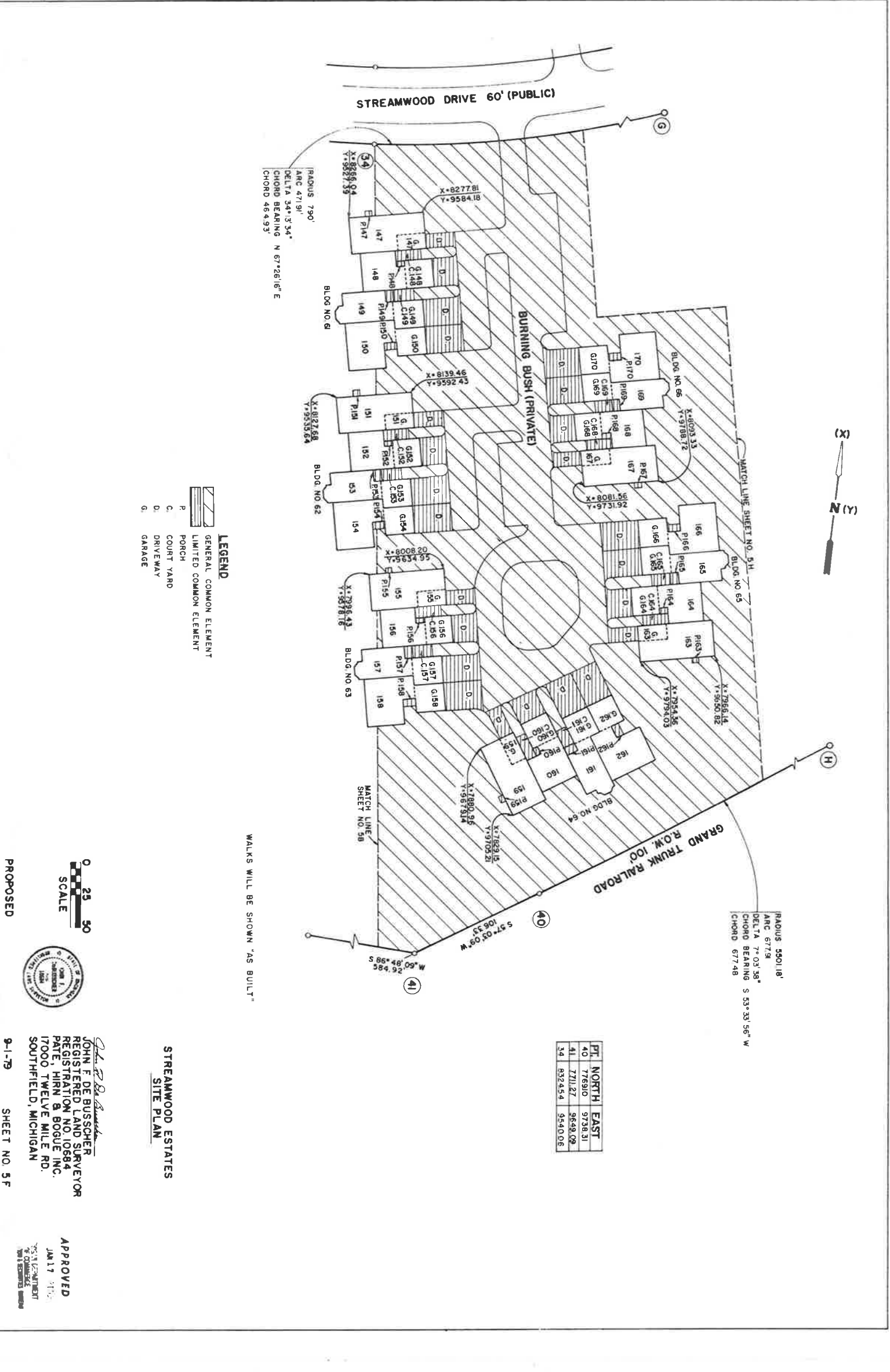


STREAMWOOD ESTATES  
SITE PLAN

JOHN F. DE BUSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

PROPOSED 9-1-79 SHEET NO. 5 E

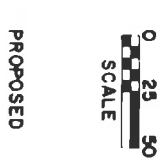
APPROVED  
JAN 17 1979  
C. J. HARRIS  
LAND SURVEYOR



**LEGEND**

GENERAL COMMON ELEMENT  
LIMITED COMMON ELEMENT

P PORCH  
C COURT YARD  
D DRIVEWAY  
G GARAGE



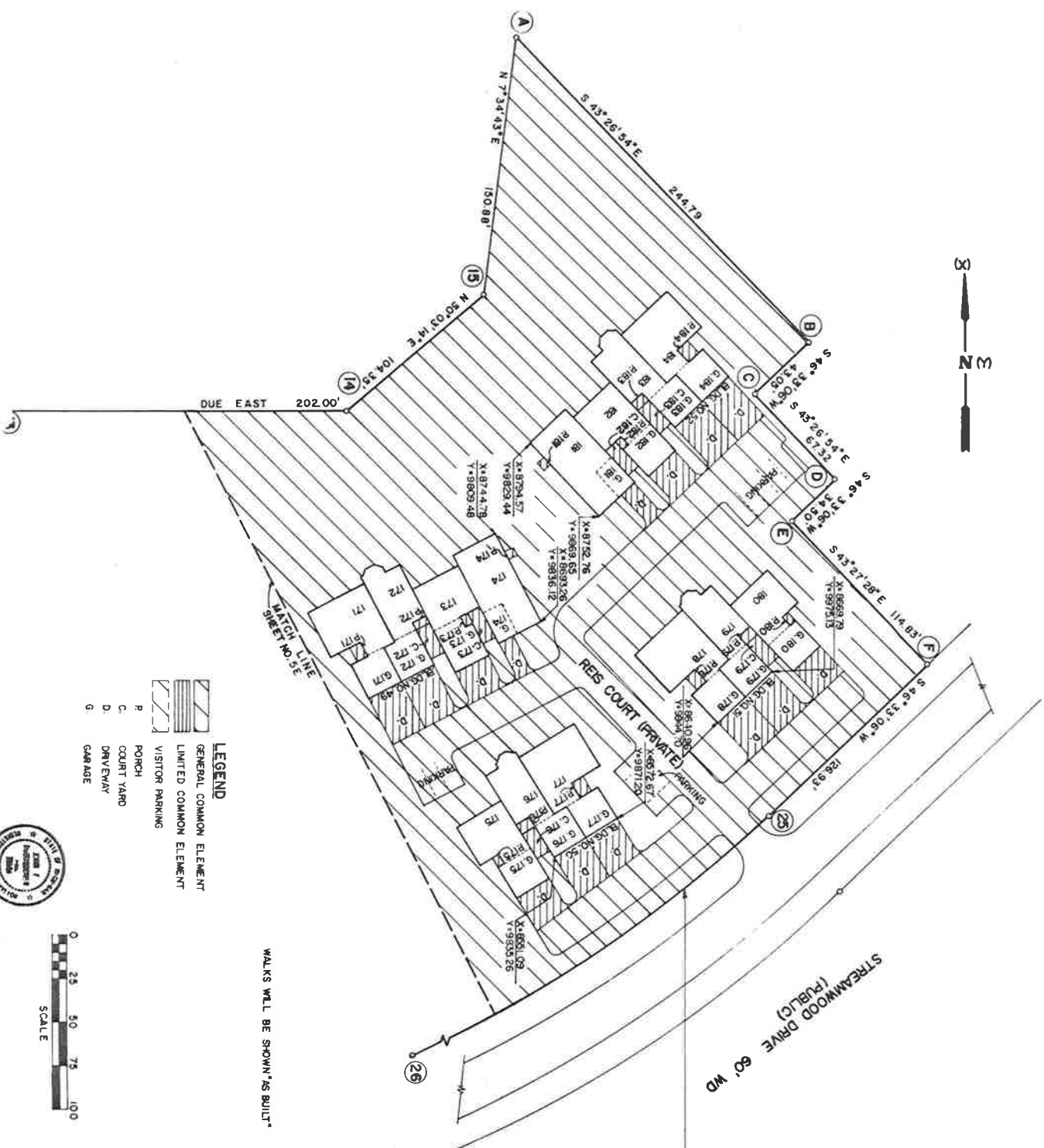
JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

STREAMWOOD ESTATES  
SITE PLAN

PROPOSED SHEET NO. 5F

PT.	NORTH	EAST
40	776310	9738.31
41	7711.27	9648.09
34	8324.54	9540.06

APPROVED  
JAN 17 1979  
J. F. DE BUSSCHER  
REGISTERED LAND SURVEYOR



- LEGEND**
- GENERAL COMMON ELEMENT
  - LIMITED COMMON ELEMENT
  - VISITOR PARKING
  - PORCH
  - COURT YARD
  - DRIVEWAY
  - GARAGE



WALKS WILL BE SHOWN "AS BUILT"

RADIUS 730.00'  
ARC 484.15'  
DELTA 38°00'00"  
CHORD BEARING S 68°33'06" W  
CHORD 478.33'

PT.	NORTH	EAST
14	8815.00	9722.00
15	8882.00	9802.00
A	9031.56	9821.90
B	8853.84	9980.24
C	8824.23	9958.99
D	8775.36	10005.28
E	8751.63	9980.23
F	8668.28	10059.22
25	8690.99	9967.07

**STREAMWOOD ESTATES  
SITE PLAN**

*John F. De Busscher*  
JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOQUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

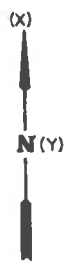
PROPOSED

9-1-79

SHEET NO. 56

**APPROVED**  
JAN 17 1980  
MICHIGAN DEPARTMENT  
OF CONSERVATION  
LAND & WATER DIVISION





PT.	NORTH	EAST
G	802292	996940
H	807146	1028337

RADIUS 5501.18'  
ARC 67.91'  
DELTA 7°03'38"  
CHORD BEARING S 53°33'56"W  
CHORD 677.48

GRAND TRUNK RAILROAD ROW 100' WD.

STREAMWOOD DRIVE 60' WD  
(PUBLIC)

222-5790  
222-4791  
222-2341  
222-5547  
222-46493

- LEGEND**
- GENERAL COMMON ELEMENT
  - LIMITED COMMON ELEMENT
  - VISITOR PARKING
  - PORCH
  - COURT YARD
  - DRIVEWAY
  - GARAGE



**STREAMWOOD ESTATES  
SITE PLAN**

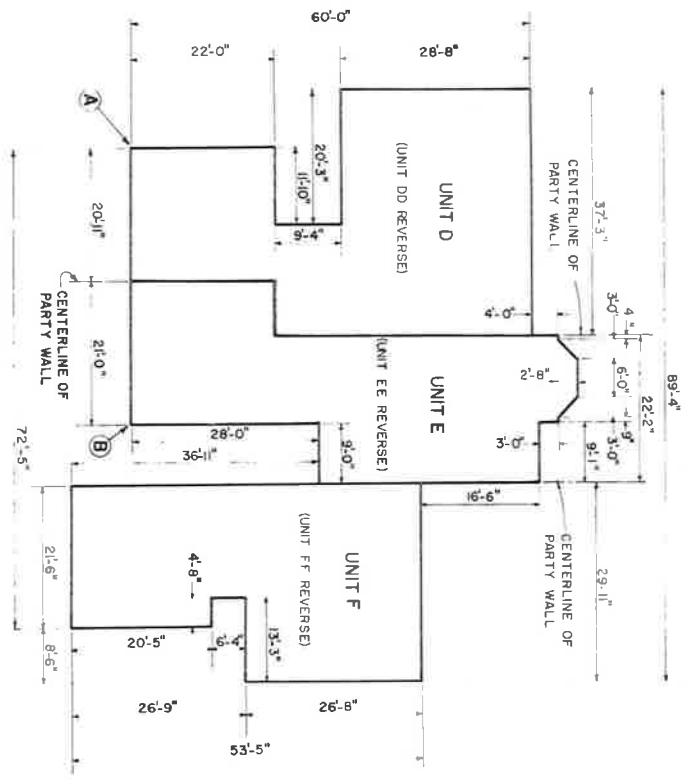
*John F. DeBuscher*  
JOHN F. DEBUSCHER  
REGISTERED LAND SURVEYOR  
PATE, HIRN & BOQUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

PROPOSED

9-1-79

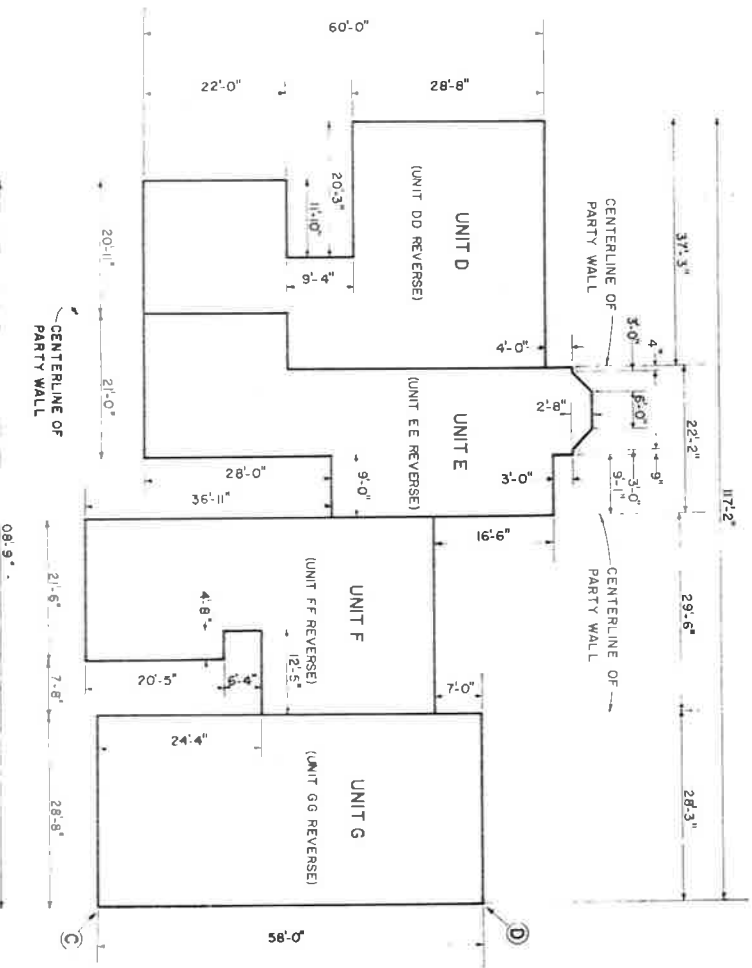
SHEET NO 5H

**APPROVED**  
JAN 17 1980  
MICHIGAN DEPARTMENT  
OF COMMERCE  
DIVISION OF LAND & NATURAL RESOURCES



BUILDING NO. 48, 50, 51 & 69  
FOUNDATION

BLDG. 1 <sup>ST</sup> FL. ELEV. NO.	USGS	UNIT								COORDINATE LOCATION
		D	DD	E	EE	F	FF	G	GG	
46	780.69	136		137		138		139		C A D
47	780.19	140		141		142		143		C A D
48	781.29	144		145		146				A A B
49	781.64	171		172		173		174		C A D
50	779.19		177		176		175			A A B
51	778.39	178		179		180				A A B
52	778.89		184		183		182		181	C A D
61	782.69	150		149		148		147		C A D
62	783.69	154		153		152		151		C A D
63	785.19	158		157		156		155		C A D
64	785.69	162		161		160		159		C A D
65	784.19	166		165		164		163		C A D
66	783.19	170		169		168		167		C A D
67	781.69	185		186		187		188		C A D
68	781.69	192		191		190		189		C A D
69	782.19	196		194		193				A A B
70	781.19	199		198		197		196		C A D
71	780.69	203		202		201		200		C A D



BUILDING NO.'S  
46, 47, 48, 50, 51, 62, 63, 64, 65, 66,  
49, 52, 67, 68, 70 & 71  
FOUNDATIONS

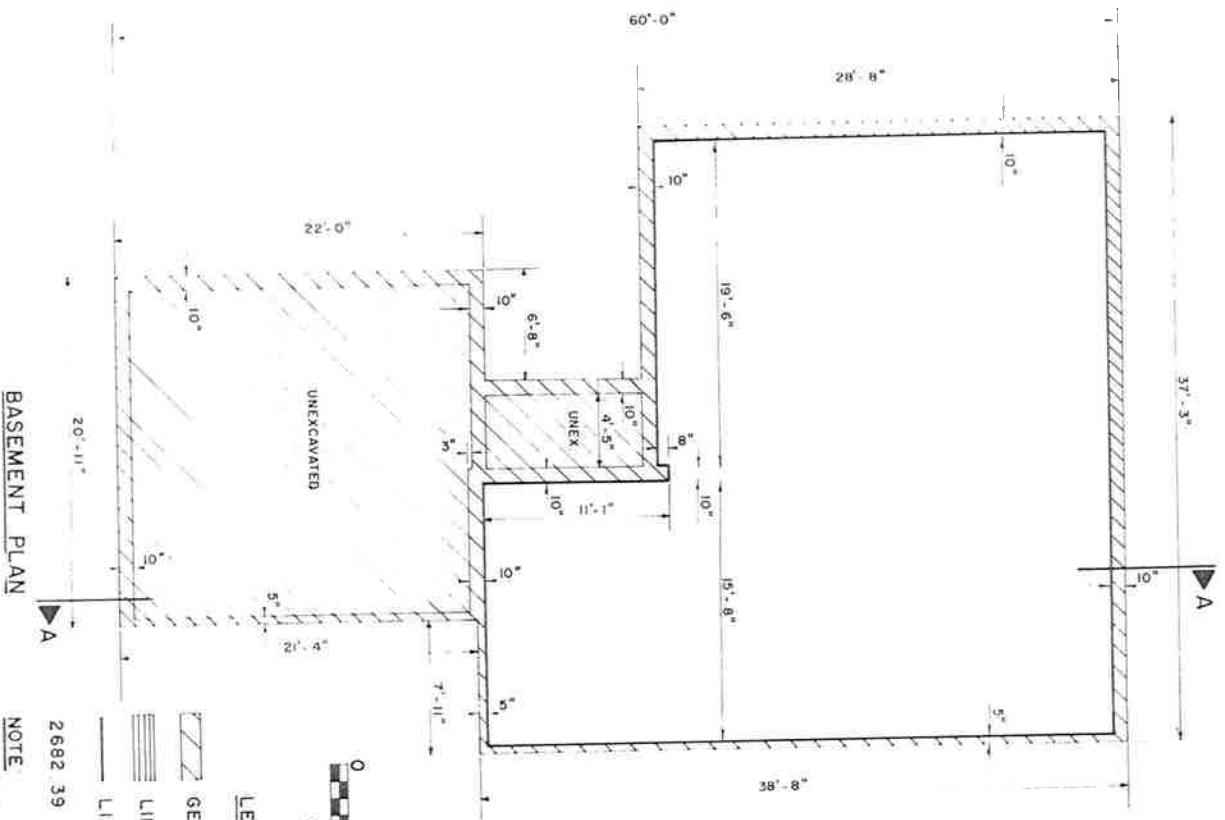
COORDINATE LOCATION

STREAMWOOD ESTATES  
PERIMETER PLANS



JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
STATE OF MICHIGAN  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

APPROVED  
JAN 17 1979  
MICHIGAN DEPARTMENT  
OF CONSERVATION  
DIVISION OF LAND & WATER



**BASEMENT PLAN**

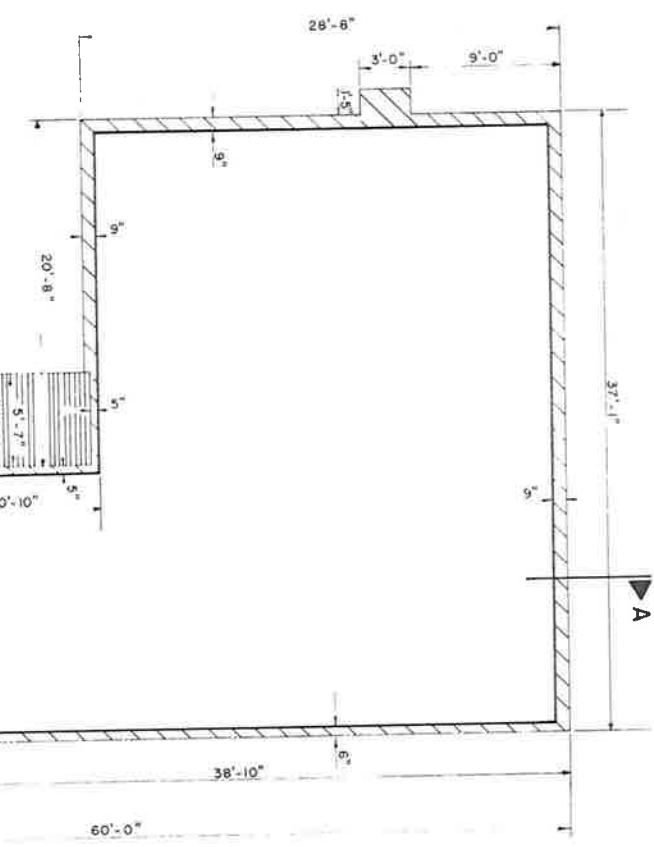


**LEGEND**

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP

2682.39 SQ. FT.

**NOTE**  
ALL WALLS ARE AT RIGHT ANGLES  
UNLESS OTHERWISE NOTED.



**FIRST FLOOR PLAN**

STREAMWOOD ESTATES  
FLOOR PLAN  
TYPICAL UNIT D,  
DD REVERSE

JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

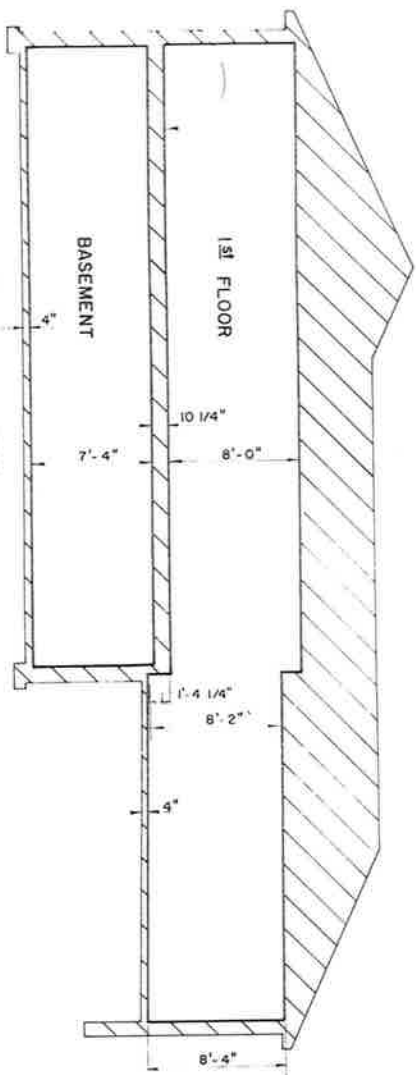
**APPROVED**  
JAN 17

MICHAEL J. BOGUE  
REGISTERED LAND SURVEYOR  
25000 W. 12 MILE RD. S.W.



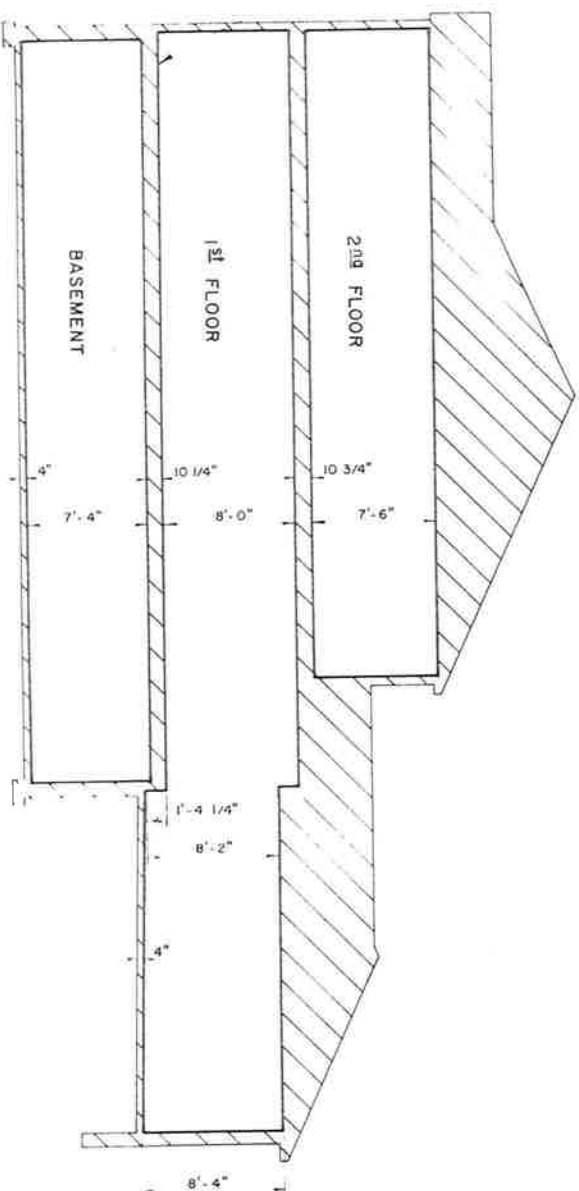






TYPICAL UNIT D  
SECTION A-A

FIRST FLOOR ELEVATIONS  
ARE GIVEN ON THE PERIMETER  
PLAN



TYPICAL UNIT E  
SECTION B-B

LEGEND

-  GENERAL COMMON ELEMENT
-  LIMITS OF OWNERSHIP



SCALE

STREAMWOOD ESTATES

SECTION PLANS

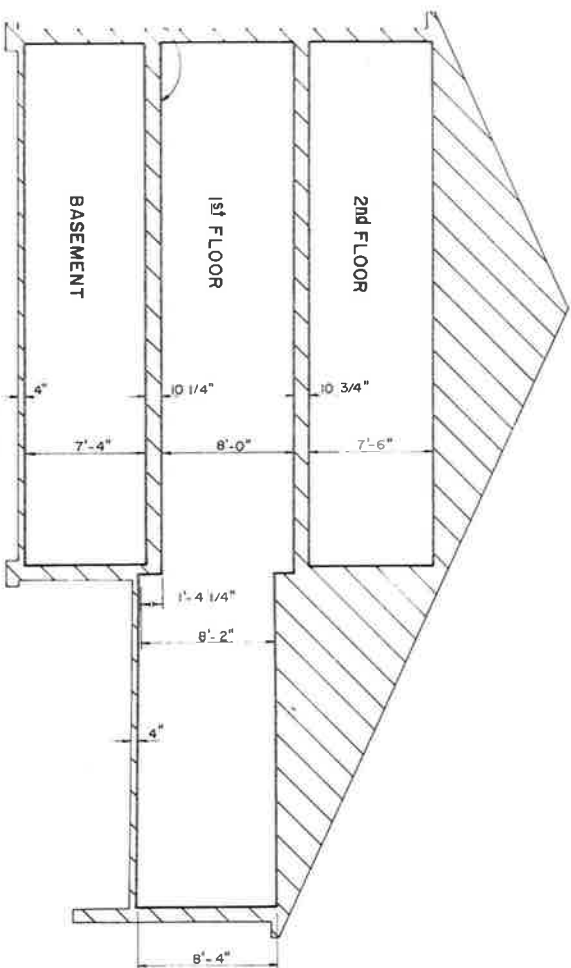
TYPICAL UNITS D & E,  
DD & EE REVERSE

JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE INC.  
17000 TWELVE MILE RD  
SOUTHFIELD, MICHIGAN

APPROVED

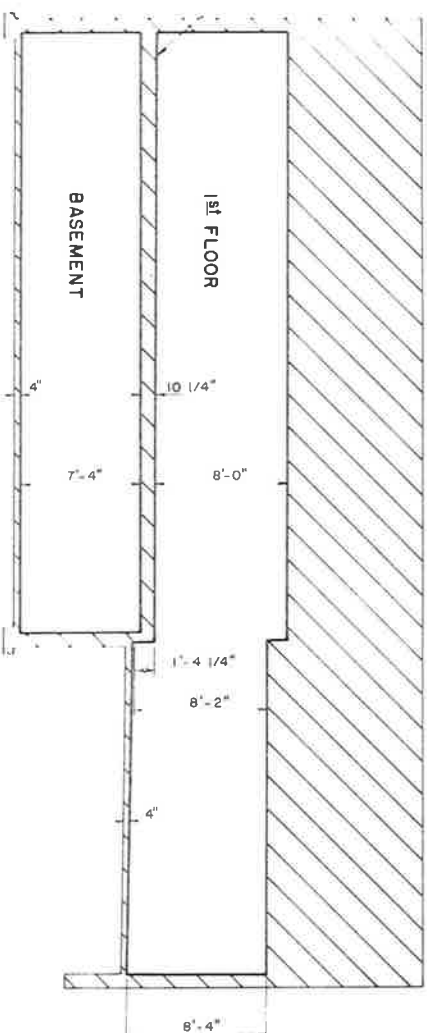
JAN 17

MICHIGAN DEPARTMENT  
OF CONSUMER  
PROTECTION



TYPICAL UNIT E  
SECTION C-C

FIRST FLOOR ELEVATIONS  
ARE GIVEN ON THE PERIMETER  
PLAN



TYPICAL UNIT F  
SECT D-D



SCALE

**LEGEND**  
 GENERAL COMMON ELEMENT  
 LIMITS OF OWNERSHIP

STREAMWOOD ESTATES  
SECTION PLANS  
TYPICAL UNITS E & F,  
EE & FF REVERSE

*John F. DeBusscher*  
JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

**APPROVED**  
JAN 17  
MICHIGAN DEPARTMENT  
OF CONSUMER  
COMPONENTS SERVICES BUREAU





STREAMWOOD ESTATES  
FLOOD PLAIN PLAN

JOHN F. DE BUSSCHER  
REGISTERED LAND SURVEYOR  
REGISTRATION NO. 10684  
PATE, HIRN & BOGUE INC.  
17000 TWELVE MILE RD.  
SOUTHFIELD, MICHIGAN

PROPOSED  
9/1/79 SHEET NO. 31

APPROVED  
JAN 17 1979  
MICHIGAN DEPARTMENT  
OF CONSERVATION  
DIVISION OF LAND & WATER