

OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 460
EXHIBIT "B" TO THE CONSOLIDATING MASTER DEED FOR

SIMSBURY

WEST BLOOMFIELD TOWNSHIP, OAKLAND COUNTY, MICHIGAN

DEVELOPER

BRIMWOOD COMPANY
NORMAN FRANKEL (PRESIDENT)
4800 OAK HOLLOW RD
WEST BLOOMFIELD, MI 48322
(313) 652-0551

ENGINEER

WANNER, DUNFELL & PRINCE, INC.
30762 GRAND OAKS AVE
FARMINGTON, MI 48024
(313) 478-6444

SURVEYOR

DONALD H. DEWEYER
6054 HUNTERSHIP
WATERLAND, MI 48328
(313) 952-1144

PREPARED BY

MICHAEL D. LEON & ASSOCIATES
1627 W. WILSON BEAVER RD
TROY, MI 48064
(313) 648-4111

LEGAL DESCRIPTION

CONDOMINIUM PHASE

A PART OF THE SOUTHWEST 1/4 OF SECTION 24, T 2 N R 9 E, WEST BLOOMFIELD TOWNSHIP, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTH 7/4 CORNER OF SAID SECTION 24, THENCE ALONG THE NORTH LINE OF (AND SECTION 24 (1/4 MILE ROAD) S. 89° 1' 30" W. 170.16 FEET, THENCE N. 20° 54' 47" W. 80.00 FEET TO THE POINT OF BEGINNING; SAID POINT ALSO BEING THE SOUTHWEST CORNER OF PEBBLECREEK IS A CONDOMINIUM AS RECORDED IN LIVER 1689, PAGE 876 OF DEEDS, OAKLAND COUNTY RECORDS, THENCE S. 49° 17' 30" W. 83.04 FEET, THENCE N. 20° 42' 30" W. 112.00 FEET, THENCE E. 1° 10' 04" W. 840.74 FEET, THENCE DUE WEST, 100.00 FEET, THENCE DUE NORTH, 124.00 FEET, THENCE N. 80° 57' 04" E. 260.00 FEET, THENCE N. 80° 41' 57" E. 204.00 FEET, THENCE DUE EAST, 124.42 FEET TO A POINT ON THE WEST LINE OF SAID PEBBLECREEK IS CONDOMINIUM, THENCE ALONG SAID WEST LINE THE FOLLOWING COURSE (4) COURSES S. 00° 09' 26" W. 247.80 FEET S. 00° 10' 55" E. 188.48 FEET S. 00° 07' 35" W. 147.00 FEET AND S. 24° 48' 37" E. 78.00 FEET TO THE POINT OF BEGINNING, CONTAINING 82,209 SQUARE FEET OR 1.9 ACRE MORE OR LESS, WITH AND SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS OF RECORD OR OTHERWISE AS SET FORTH IN ARTICLE 11 OF THE CONSOLIDATING MASTER DEED OF SIMSBURY TO WHICH THIS PLAN IS EXHIBIT "B".

SURVEYOR'S CERTIFICATE

I, DONALD H. DEWEYER, REGISTERED LAND SURVEYOR OF THE STATE OF MICHIGAN, COUNTY OF OAKLAND, DO HEREBY CERTIFY THAT THE SUBDIVISION PLAN HEREON IS OAKLAND COUNTY RECORD NO. 460, AND THAT THE SAME HAS BEEN RECORDED IN THE PUBLIC ACTS OF 1970, AS SHOWN ON THE ACCOMPANYING RETURN, IN ACCORDANCE WITH SECTION 261 OF THE MICHIGAN CONSTITUTION AND SECTION 261.1 OF THE MICHIGAN ACTS OF 1970. THAT THE REQUIRED RECORDS AND PLAN SEARCHES HAVE BEEN MADE IN THE PUBLIC ACTS OF 1970, THAT THE ACCURACY OF THIS SURVEY IS UNDER THE LIMITS PERMITTED BY THE MICHIGAN CONSTITUTION UNDER SECTION 261 OF ACT 106 AND BY THE PUBLIC ACTS OF 1970, AND THAT THE SURVEY AS SHOWN AND COVERED ON THIS SURVEY PLAN IS IN ACCORDANCE WITH THE LIMITS PERMITTED BY SECTION 261 OF ACT 106 AND BY THE PUBLIC ACTS OF 1970.

D.H.D.
DHS



Donald H. Deweyer
DONALD H. DEWEYER
REGISTERED LAND SURVEYOR
6054 HUNTERSHIP
WATERLAND, MI 48328
(313) 952-1144

INDEX OF DRAWINGS

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4	UTILITY PLAN SHEET
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5B	BUILDING NO. 2 (BASEMENT & FOUNDATION)
5C	BUILDING NO. 3 (BASEMENT & FOUNDATION)
5D	BUILDING NO. 4 (BASEMENT & FOUNDATION)
5E	BUILDING NO. 5 (BASEMENT & FOUNDATION)
5F	BUILDING NO. 6 (BASEMENT & FOUNDATION)
5G	BUILDING NO. 7 (BASEMENT & FOUNDATION)
5H	BUILDING NO. 8 (BASEMENT & FOUNDATION)
5I	BUILDING NO. 9 (BASEMENT & FOUNDATION)
5J	BUILDING NO. 10 (BASEMENT & FOUNDATION)
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10	UNIT PLAN "E"
11	UNIT PLAN "F-1" & "F-2"
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14	UNIT PLAN "I"
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**COVER SHEET
SIMSBURY**

AD-1087 8-2-72

REGISTERED PROFESSIONAL ENGINEER
ALL STATES EXCEPT ILLINOIS

MICHAEL D. LEON
REGISTERED PROFESSIONAL ENGINEER
STATE OF MICHIGAN
No. 1689

DATE: 8-2-72

SCALE: AS SHOWN

PROJECT: SIMSBURY

SHEET # 1

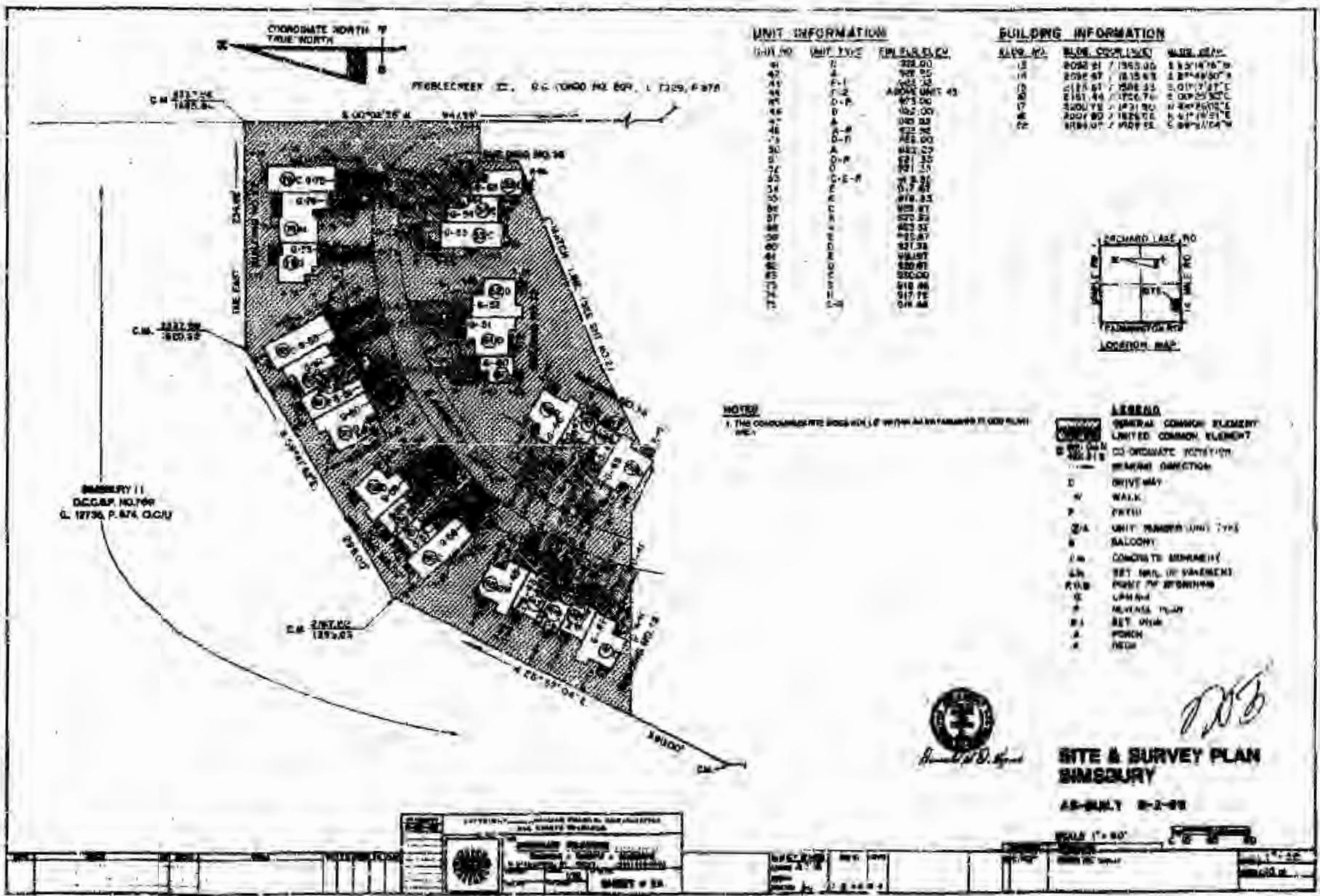
LINE 143580704

LIBR 143587705

UNIT INFORMATION

UNIT NO.	UNIT TYPE	TRA. OR SURV.
1	1-A	217 27
2	1-A	501 23
3	1-A	510 20
4	1-A	520 17
5	1-A	502 14
6	1-A	503 11
7	1-A	504 8
8	1-A	505 5
9	1-A	506 2
10	1-A	507 0
11	1-A	508 0
12	1-A	509 0
13	1-A	510 0
14	1-A	511 0
15	1-A	512 0
16	1-A	513 0
17	1-A	514 0
18	1-A	515 0
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410	1-A	907 0</

UCL# 1-15584706



UNIT INFORMATION

UNIT NO.	UNIT TYPE	AREA (SQ. FT.)
41	A	328.00
42	A	348.00
43	A-1	325.00
44	A-2	325.00
45	A-3	325.00
46	A	325.00
47	A	325.00
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63	A	325.00
64	A	325.00
65	A	325.00
66	A	325.00
67	A	325.00
68	A	325.00
69	A	325.00
70	A	325.00
71	A	325.00
72	A	325.00

BUILDING INFORMATION

BLDG. NO.	BLDG. COORDINATES	BLDG. AREA
2022 21	1355.00	8 5' 14" 0" W
2022 22	1315.00	8 2' 44" 30" W
2124 21	1508.25	5 0' 17" 21" E
2124 22	1526.75	5 0' 02" 30" E
2201 21	1421.50	4 4' 44" 0" E
2201 22	1426.00	5 4' 17" 21" E
2201 23	1429.50	5 4' 17" 21" E

NOTE:
1. THE CONDOMINIUMS ARE BUILT WITHIN A 1/4" SCALE PLAN WITH 1/4" GRID PLUMBING.

- LEGEND**
- GENERAL COMMON ELEMENT
 - LIMITED COMMON ELEMENT
 - COORDINATE POSITION
 - BEARING DIRECTION
 - D DRIVE WAY
 - W WALK
 - P PATH
 - /A UNIT NUMBER (UNIT TYPE)
 - S BALCONY
 - CM CONCRETE MURMURET
 - LN SET NAIL OF SIVEMENT
 - POB POINT OF BEGINNING
 - LAND
 - ☆ MEASUREMENT
 - ☆ SET MARK
 - A ARCH
 - A NEAR



**SITE & SURVEY PLAN
SINGSBURY
AS-BUILT 8-2-88**

PROPERTY: SINGSBURY II, DCCAP NO. 769, C. 12736, P. 274, O.C.U.

OWNER: SINGSBURY II, DCCAP NO. 769, C. 12736, P. 274, O.C.U.

DESIGNER: RICHARD D. DYER, P.E., 10000 N. RICHARD LANE, FLORISSANT, MO 63031

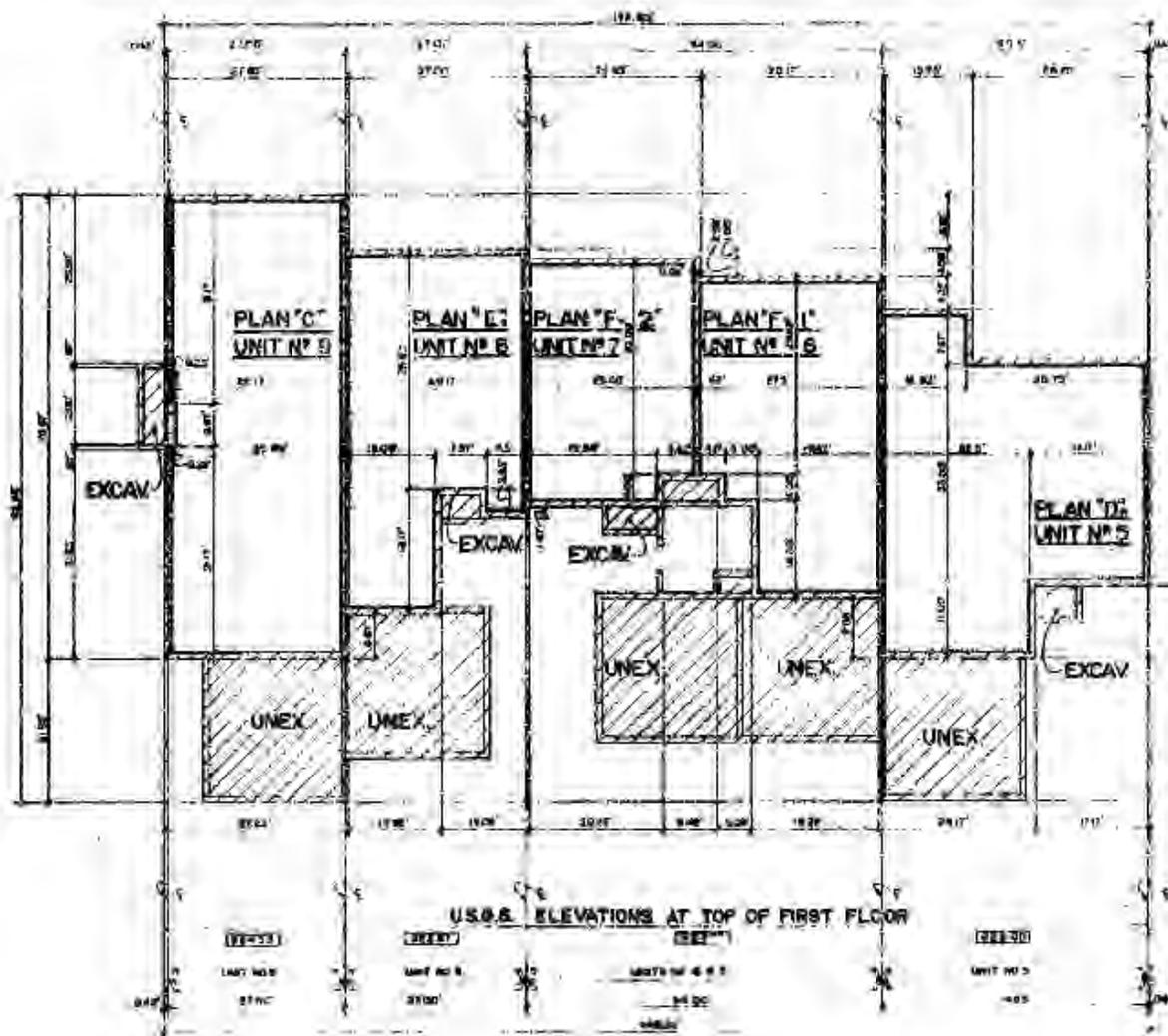
DATE: 8-2-88

SHEET # 24

SCALE: 1" = 40'

DATE	BY	CHKD.	APP'D.
8-2-88	R.D.D.		

1949 143584710



- LEGEND**
- REMOVAL CROSS HATCH
 - LIMITED CROSS HATCH
 - LIMITS OF DIMENSION
 - ALL S.S. AT TOP OF FIRST FLOOR
 - 24" WALL THICKNESS



NOTE

1. CHECK THE DIMENSIONS ON THE CEILING PLANS OF THE GROUND SURVEY PLAN AGAINST THE DIMENSIONS SHOWN ON THE SECTIONAL KEY SURVEY PLAN. THE FIRST & SECOND FLOOR DIMENSIONS ON THE SECTIONAL UNIT TILES WILL CORRELATE TO THE SAME DIMENSIONS ON THE CEILING PLANS. THE CEILING SURVEY PLAN SHALL BE THE BASIS FOR THE FIRST & SECOND FLOOR DIMENSIONS. DIMENSIONS ON THE CEILING PLANS SHALL BE THE BASIS FOR THE FIRST & SECOND FLOOR DIMENSIONS. DIMENSIONS ON THE CEILING PLANS SHALL BE THE BASIS FOR THE FIRST & SECOND FLOOR DIMENSIONS.
2. ALL OTHER DIMENSIONS ARE IN METERS.
3. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
4. ALL WALLS ARE 24" UNLESS NOTED OTHERWISE.
5. ALL WALLS ARE 24" UNLESS NOTED OTHERWISE.

Basement & Foundation Plan

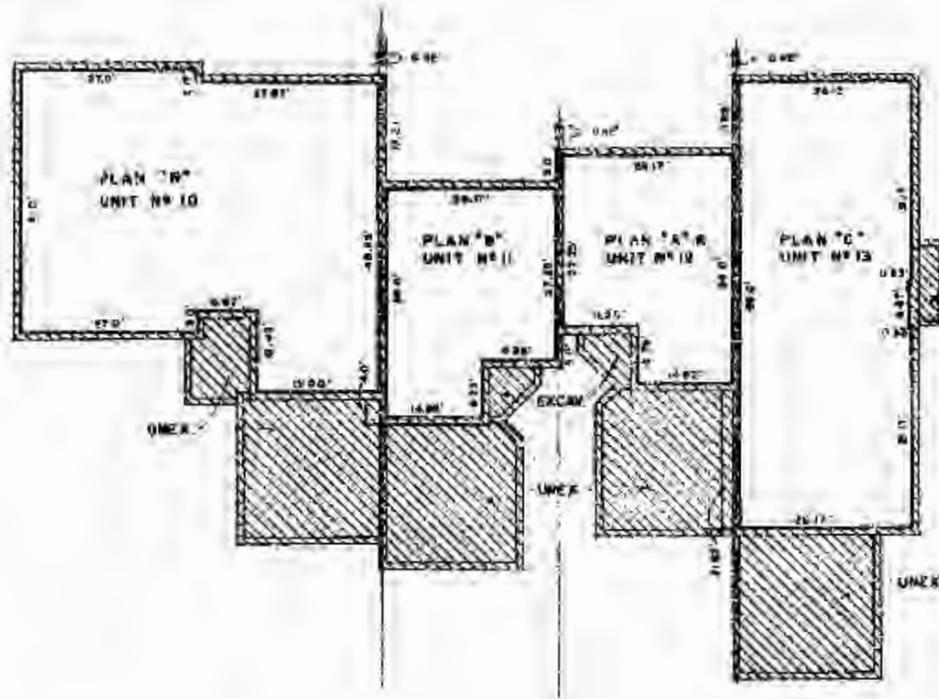
SIMSBLITY

1949 143584710

Basement & Foundation Plan

Sheet No. 2

LIBER 14358 PG 711



NOTES:
 1. REFER TO DISCUSSION ON THE AS-BUILT DRAWING OF THE BUILDING INCIDENT PLAN DATED FROM THE DATE REPAIRS WERE MADE TO THE ORIGINAL UNIT ELEVATION PLAN. THE FIRST 4 ADDED FOUNDATIONS ON THE INDIVIDUAL UNIT PLAN WILL CORRELATE TO THE SAME NUMBER. ALL 4 SHOULD BE AS-BUILT DRAWING NAME. UNIT PLAN SHOW THE UNIT WITH "U" BE 27 WIDE OVER HITCH ON THE ORIGINAL 10'2" PLAN. 2. STRIKE BE ADDED TO THE WITH BY THE UNIT A SECTION PLANS OF THE INDIVIDUAL UNIT PLAN.
 3. ALL OTHER DIMENSIONS AND PLAN MARKINGS & LETTER "B" APPEARING ON THE PLAN LETTER INDICATE UNIT IS BUILT CORRECTLY.
 4. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 5. ALL WALLS ARE 12" UNLESS OTHERWISE NOTED.

LEGEND
 [Hatched Box] GENERAL COMMON ELEMENT
 [Dotted Box] LIMITED COMMON ELEMENT
 [Dashed Line] LIMITS OF CHANGING
 [Line with 'A'] REVERSE PLAN
 [Box with 'AS-BUILT'] AS-BUILT DIMENSIONS

SCALE: 1/8" = 1'-0"

Donald H. D. K. Jr.

NOTE: SEE SITE SURVEY PLAN FOR 1ST FLOOR ELEVATIONS.

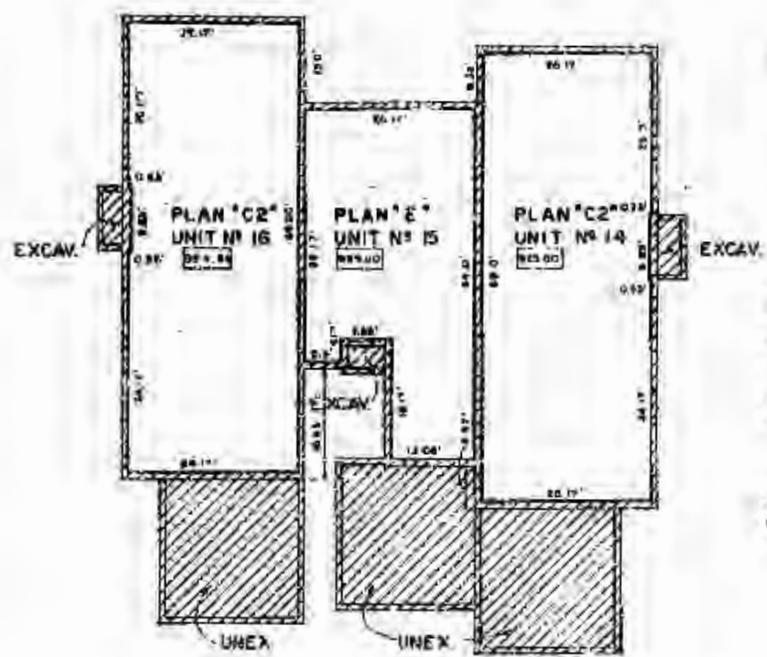
BASEMENT B FOUNDATION PLAN

SINGSBURY BUILDING #2

PROJECT NO.	DATE
DESCRIPTION	SCALE
DESIGNED BY	CHECKED BY
DRAWN BY	DATE

AS-BUILT 1-2-99

LIB 146587712



NOTES

1. SHOULD THE ELEVATION OF THE AS-BUILT SURFACE OF THE BUILDING BASEMENT BE DIFFERENT FROM THE DIMENSIONS SHOWN ON THE INDIVIDUAL UNIT BASEMENT PLAN, THE FLOOR IS SHOWN PLUMB OR SHOWN ON THE INDIVIDUAL UNIT PLAN FULL CHARGE OF THE BANK. DIMENSION EX. 1 SHOULD THE AS-BUILT BUILDING BASEMENT PLAN SHOW THE UNIT WIDTH TO BE 4" WIDER THAN SHOWN ON THE INDIVIDUAL UNIT PLAN, IT SHALL BE ADDED TO THE WIDTH OF THE UNIT & SHOWN FLOOR OF THE INDIVIDUAL UNIT PLAN.
2. ALL OTHER DIMENSIONS ARE PLAN DIMENSIONS.
3. LETTER "A" APPEARS AFTER PLAN LETTER INDICATES UNIT IS BUILT OVERHEAD.
4. ALL WALLS ARE 12" OR UNLESS NOTED OTHERWISE.
5. ALL WALLS ARE 8" UNLESS NOTED OTHERWISE.

LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF OVERHEAD
- U.S.G. 12" 10" OF OVER FLOOR
- AS-BUILT DIMENSIONS

1/2" = 1'-0"
SCALE: 1/2" = 1'-0"



BASEMENT & FOUNDATION PLAN

John H. DeG...

SIMSBURY BUILDING NO. 4

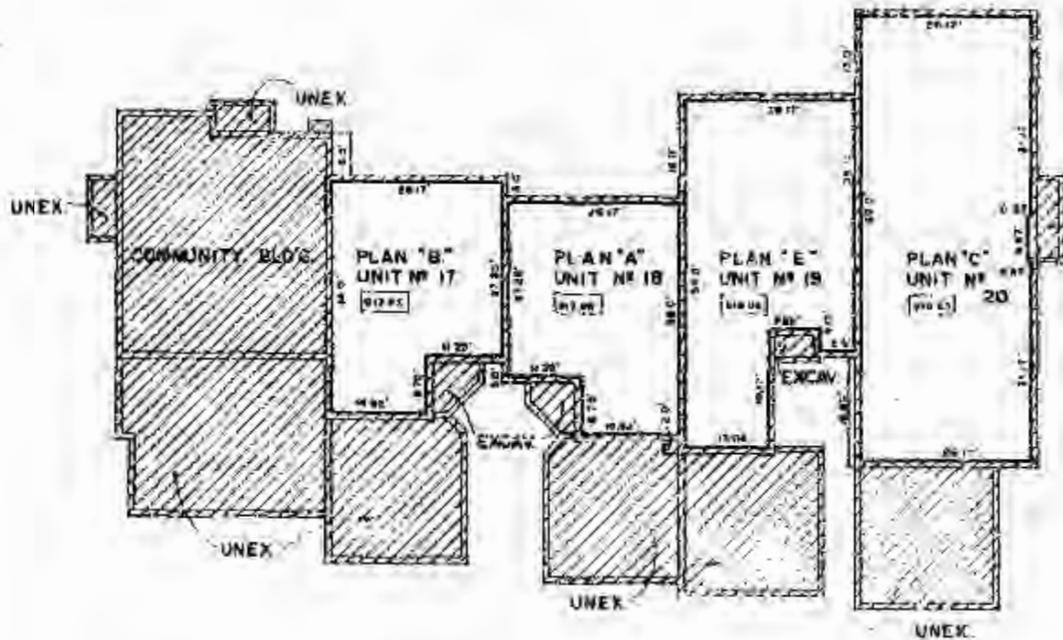
RECORDS DEPARTMENT

DATE: 10-1-55

BY: [Signature]

12-BUILD 8-2-55

LIBR 14358 PG 713



NOTES:

1. DIMENSIONS ON THE 1/2" SCALE DRAWING ON THIS SHEET SUPERSEDE DIMENSIONS ON THE INDIVIDUAL UNIT PLANS. DIMENSIONS ON THE INDIVIDUAL UNIT PLANS WILL CHANGE IN THE 1/4" & 1/8" SCALE. EXCEPT THE 1/2" SCALE DRAWING CASE - THESE PLANS SHOW THE UNIT WIDTH TO BE 1/2" WIDER THAN SHOWN ON THE INDIVIDUAL UNIT PLAN. A CHECK OF EACH IS TO THE WIDTH OF THE FIRST & SECOND FLOOR OF THE INDIVIDUAL UNIT PLAN.
2. ALL OTHER DIMENSIONS ARE PLAN DIMENSIONS.
3. LETTER 'E' APPEARS AFTER PLAN LETTER INDICATING UNIT IS BUILT REVERSE.
4. ALL WALLS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
5. ALL WALLS ARE 12" UNLESS OTHERWISE NOTED.

EXCAV.

LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF IMPROVEMENT
- 1/2" SL. AT TOP OF FIRST FLOOR
- 1/2" SL. DIMENSIONS

0 1 2
SCALE: 1/8"=1'-0"

BASEMENT & FOUNDATION PLAN

Donald B. Blyden
DBB

GIMBURY BUILDING No. 2

1977-1978
DONALD B. BLYDEN
 REGISTERED PROFESSIONAL ENGINEER
 No. 12345
 State of New York

1977-1978
 SHEET 208

1977-1978

LIBR 14358 714

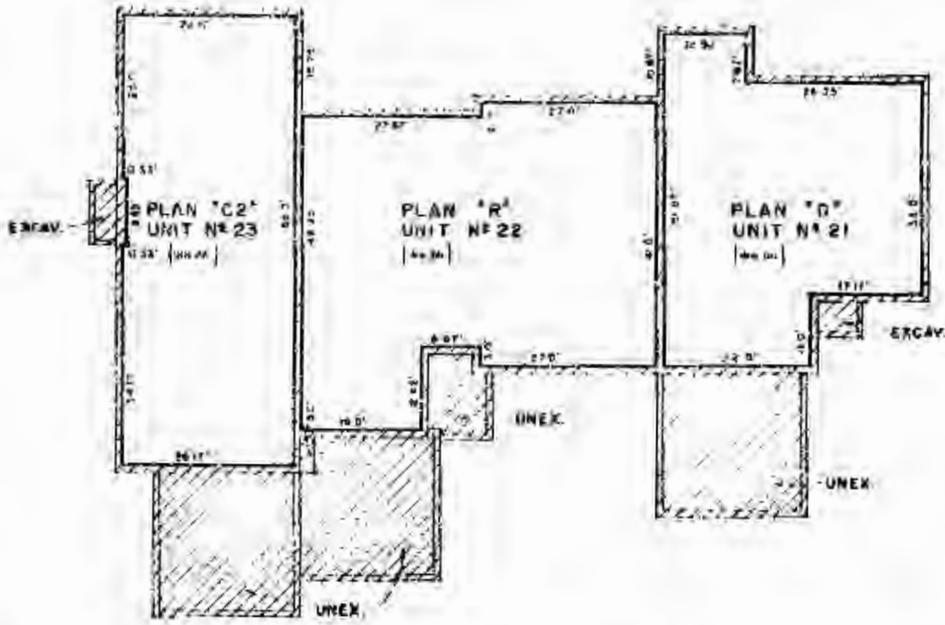
NOTES:

1. SHOULD THE DIMENSIONS ON THE AS-BUILT DRAWING OF THE BASEMENT PLAN DIFFER FROM THE DIMENSIONS SHOWN ON THE INDIVIDUAL UNIT FLOOR PLAN, THE FIRST & SECOND FLOOR DIMENSIONS ON THE INDIVIDUAL UNIT PLAN WILL PREVAIL IN THE SAME NUMBER. EX. 1. SHOULD THE AS-BUILT DIMENSIONS ON THE FIRST FLOOR SHOW THE UNIT WIDTH TO BE 2" WIDER THAN SHOWN ON THE INDIVIDUAL UNIT PLAN, 2" WOULD BE ADDED TO THE WIDTH OF THE FIRST & SECOND FLOOR OF THE INDIVIDUAL UNIT PLAN.
2. ALL OTHER DIMENSIONS ARE PLAN DIMENSIONS.
3. LETTER 'R' APPEARS AFTER PLAN LETTER INDICATES UNIT IS BUILT REVERSED.
4. ALL WALLS ARE 8" UNLESS NOTED OTHERWISE.
5. ALL DOORS ARE O.C. UNLESS OTHERWISE NOTED.

LEGEND

-  GENERAL COMMON ELEMENT
-  LIMITED COMMON ELEMENT
-  LIMITS OF APARTMENT
-  U.S.A. 0.0' AT TOP OF FIRST FLOOR
-  AS-BUILT DIMENSIONS

 SCALE: 1/4" = 1'-0"



BASEMENT & FOUNDATION PLAN


W. H. D. K.
W. H.

SIMSBURY BUILDING NO. 6

ALL RIGHTS RESERVED

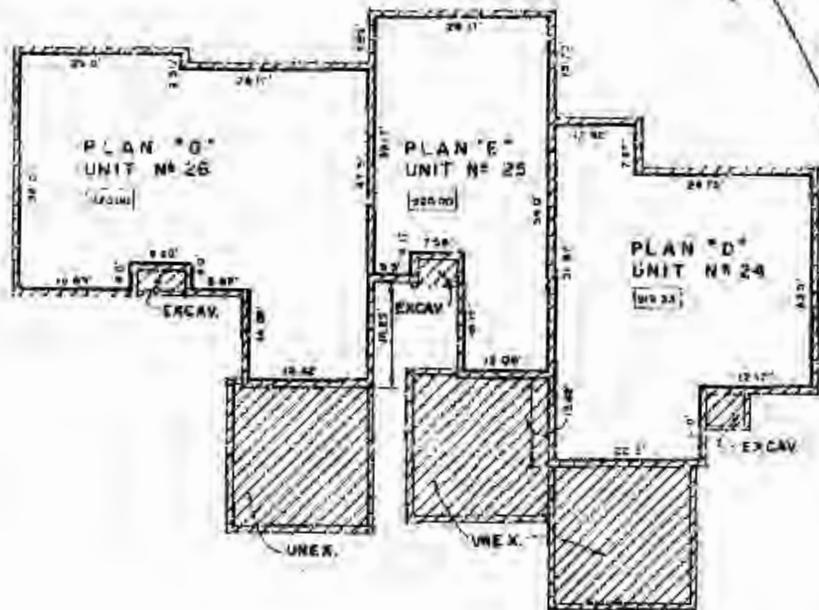


DATE: 10/1/81

SHEET 1 OF 1

AS-BUILT 8-7-81

LIBR. 14358 P. 715



NOTES:

1. UNITS 24, 25 AND 26 SHOWN ON THE 22-1/2" X 34" PLAN OF THE FIRST FLOOR. UNITS 24, 25 AND 26 SHOWN ON THE 22-1/2" X 34" PLAN OF THE FIRST FLOOR. UNITS 24, 25 AND 26 SHOWN ON THE 22-1/2" X 34" PLAN OF THE FIRST FLOOR.
2. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
3. ALL WALLS ARE BY 8" UNLESS NOTED OTHERWISE.
4. ALL WALLS ARE BY 8" UNLESS NOTED OTHERWISE.
5. ALL WALLS ARE BY 8" UNLESS NOTED OTHERWISE.

LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMIT OF OWNERSHIP
- USED UP TO TO FIRST FLOOR
- 11-1/2" DIMENSIONS

DATE: 11/1/57
SCALE: 1/4" = 1'-0"

BASEMENT & FOUNDATION PLAN

D. W. D. H.

SIMSBURY BUILDING #7

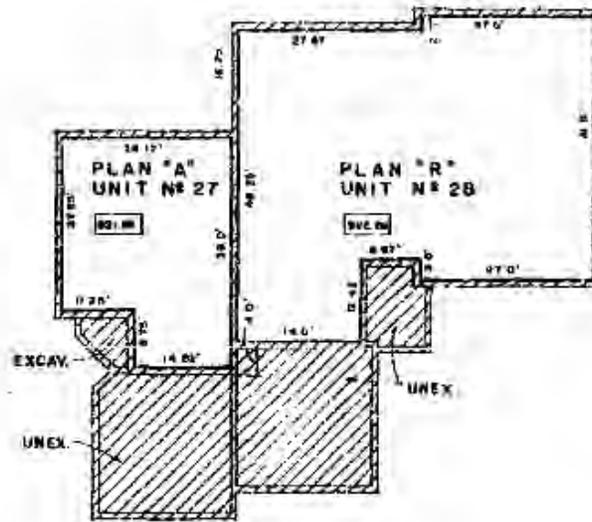
APPROVED FOR CONSTRUCTION

DATE: 11/1/57

SHEET #59

APRIL 1958

URBN 14358W716



NOTES:

1. SHOULD THE DIMENSIONS ON THE AS BUILT DRAWING OF THE BUILDING DEVIATE FROM THE DIMENSIONS SHOWN ON THE FOUNDATION (THIS DRAWING) PLAN, THE FIRST & SECOND FLOOR DIMENSIONS ON THE BUILDING UNIT PLAN WILL CONTROL IN THE LATER WORK. DO NOT ASSUME THE AS BUILT DRAWING MAY NOT PLAN SHOW THE TRUE WIDTH OF THE UNIT. PLAN SHOWN ON THE FOUNDATION UNIT PLAN IS TO BE ADDED TO THE WIDTH OF THE FIRST & SECOND FLOOR OF THE INDIVIDUAL UNIT PLAN.
2. ALL OTHER DIMENSIONS ARE PLAN DIMENSIONS.
3. ALL LETTERS APPEARING WITH PLAN LETTERS INDICATED UNIT IS ONLY REVERSED.
4. ALL WALLS ARE AT 20" UNLESS NOTED OTHERWISE.
5. ALL WALLS ARE 20" UNLESS OTHERWISE NOTED.

LEGEND

- GENERAL COMMON ELEMENT
- UNIT COMMON ELEMENT
- UNIT COMMON ELEMENT
- EXCAVATION
- UNEXCAVATED
- AS-BUILT DIMENSIONS

0 12.5 25 50
SCALE (1/4"=1'-0")

BASEMENT & FOUNDATION PLAN



Handwritten signature and initials

SIMSBURY BUILDING # 6

ARCHITECT: [Signature]

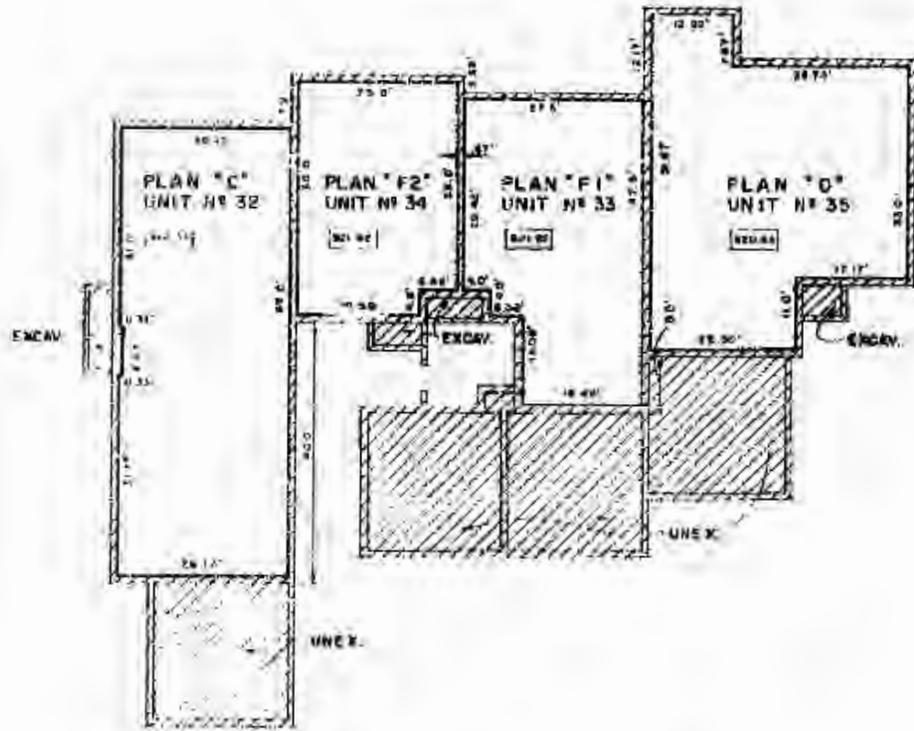
DATE: [Blank]

SCALE: [Blank]

SHEET # 5K

AS BUILT 4-3-05

LIBER 14358P718



BASEMENT & FOUNDATION PLAN

NOTES:

1. REPRODUCE THE DIMENSIONS AND THE OTHER DETAILS OF THE ORIGINAL DRAWING AS FAR AS POSSIBLE FROM THE DIMENSIONS SHOWN ON THE ORIGINAL DRAWING. PLAN THE FIRST & SECOND FLOOR DIMENSIONS OF THE INDIVIDUAL UNIT AS AN ONLY QUOTE IN THE SAME MANNER. E.G. 10'-0" TO 10'-00" SHALL BE WRITTEN AS 10'-0" WITH QUOTE AND THE UNIT MUST BE 2" MORE THAN SHOWN ON THE ORIGINAL UNIT PLAN. WHEN EC. IS ADDED TO THE NORTH OF THE PARTS OF SECOND FLOOR OF THE INDIVIDUAL UNIT PLAN.
2. ALL OTHER DIMENSIONS ARE DIMENSIONS.
3. ALL OTHER DIMENSIONS ARE DIMENSIONS.
4. ALL WALLS ARE 2" UNLESS OTHERWISE NOTED.
5. ALL WALLS MUST BE SET IN CONCRETE.

LEGEND:

- THICKER CONCRETE ELEMENT
- LIMITED CONCRETE ELEMENT
- LIMITS OF CONCRETE
- USE EC. AT TOP OF FIRST FLOOR
- AS BUILT DIMENSIONS

DEAD END
NONE 10'-0"



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SIMSBURY BUILDING # 10	
ARCHITECT	ENGINEER
DATE	SHEET # 63

APRIL 6-1933

LIBID 14358W719

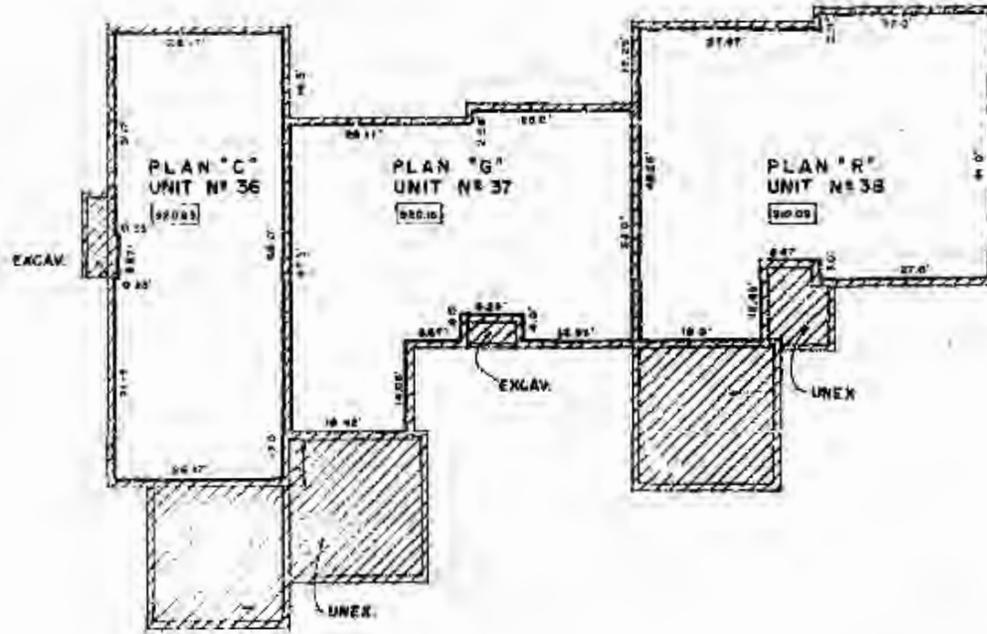
UNIT N° 36

UNIT N° 37

UNIT N° 38

UNIT N° 38

ALL WALLS ARE 12" UNLESS OTHERWISE NOTED



- NOTES:**
1. VERIFY THE DIMENSIONS OF THE EXISTING STRUCTURE OF THE BUILDING AND THE DIMENSIONS OF THE COMMON FLOORING AND FOUNDATION WALLS ON THE EXISTING UNIT PLANS. PLAN THE UNIT'S COMMON FLOORING ON THE EXISTING UNIT PLAN AND COMMON FLOORING OF THE SAME NUMBER. DO NOT CHANGE THE COMMON FLOORING OR FOUNDATION WALLS UNLESS THE UNIT OWNER IS TO BE A PART OF THE COMMON FLOORING OR FOUNDATION WALLS. ALL OTHER DIMENSIONS ARE AS SHOWN ON THE EXISTING UNIT PLANS. ALL DIMENSIONS SHOULD BE NOTED TO THE CENTER OF THE WALL UNLESS OTHERWISE NOTED.
 2. ALL OTHER DIMENSIONS ARE AS SHOWN ON THE EXISTING UNIT PLANS.
 3. ALL DIMENSIONS AFTER PLAN LETTER UNLESS OTHERWISE NOTED.
 4. ALL WALLS ARE 12" UNLESS OTHERWISE NOTED.
 5. ALL WALLS ARE 12" UNLESS OTHERWISE NOTED.

- LEGEND:**
- SEVERAL COMMON ELEMENTS
 - LIMITED COMMON FLOORING
 - LIMITS OF UNDERPINNING
 - WALLS AT TOP OF FIRST FLOOR
 - AT UNIT TERMINATIONS

SCALE
 1/8" = 1'-0"
 1/4" = 1'-0"
 1/2" = 1'-0"



James D. [Signature]
[Signature]

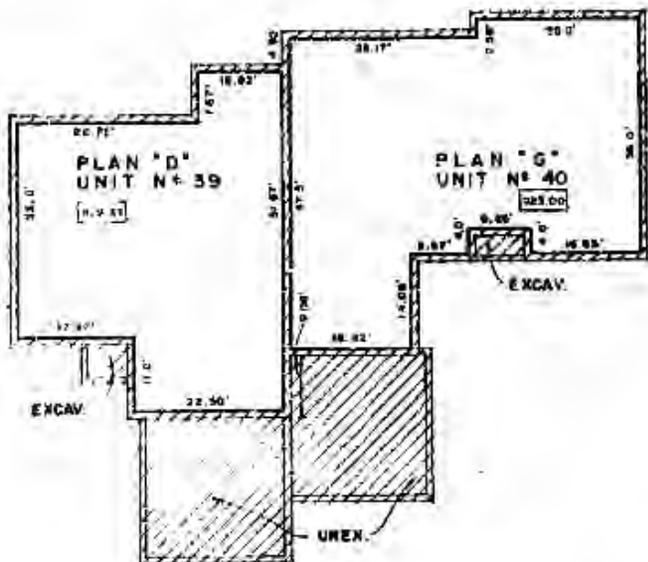
BASEMENT & FOUNDATION PLAN

SIMSBURY BUILDING N° 11

ARCHITECT: [Signature]
 ENGINEER: [Signature]
 CONTRACTOR: [Signature]

AS-SHET 8-2-85

LINE 143581720



BASEMENT & FOUNDATION PLAN

NOTES:

1. BASED ON DIMENSIONS OF THE AS-BUILT UNIT OF THE BUILDING SUBJECT TO THE DEPART FROM THE WORKSHOWN DIMENSIONS ON THE FIRST & SECOND FLOOR DRAWINGS ON THE STANDARD UNIT PLAN WILL CHANGE IN THE UNIT NUMBER EX - DIMENSION THE AS-BUILT AND THE WALL THICKNESS SHALL BE THE SAME AS SHOWN IN THE STANDARD UNIT PLAN, EXCEPT AS NOTED TO THE BROAD OF THE WALL'S SECOND FLOOR OF THE INDIVIDUAL UNIT PLAN.
2. ALL DIMENSIONS SHOWN ARE PLAN DIMENSIONS.
3. LETTER 'R' APPEARING ON THE PLAN INDICATES UNIT IS WALL REVEALED.
4. ALL WALLS ARE AT 8" UNLESS NOTED OTHERWISE.
5. ALL WALLS ARE 8" UNLESS NOTED OTHERWISE.

LEGEND:

- REVEAL - COMMON ELEMENT
- UNITED COMMON ELEMENT
- LIMITS OF DIVISION
- 1/2" WALL THICKNESS

SCALE: 1/4" = 1'-0"



Donald N. DeGroot

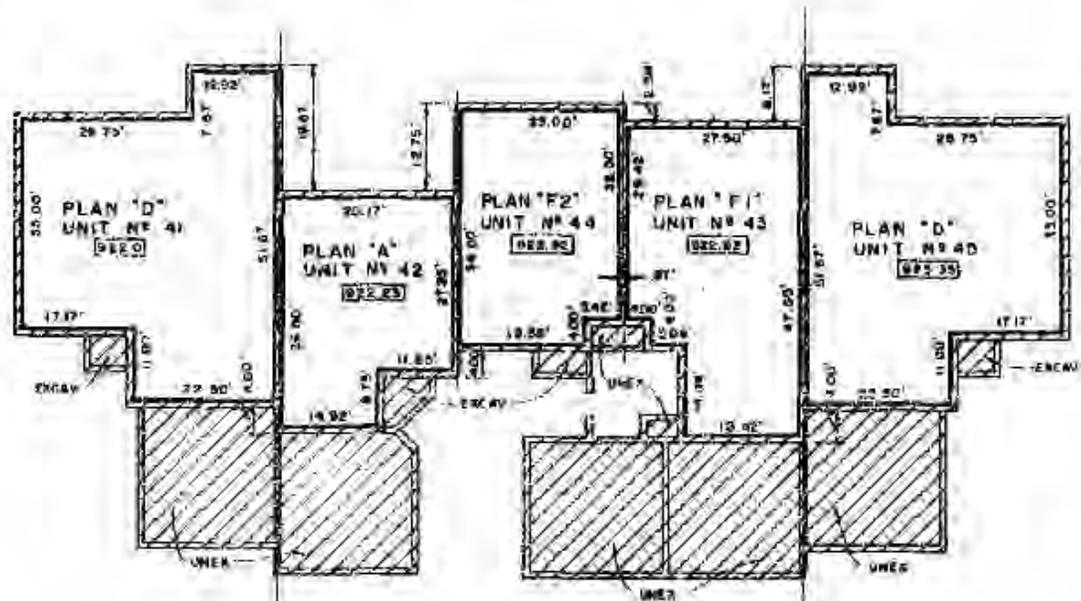
DBB

SIMSBURY BUILDING NO. 12

PROJECT	UNITS 12 & 13
OWNER	UNIVERSITY MICROFILMS INTERNATIONAL
ARCHITECT	DEGROOT & ASSOCIATES, INC.
DATE	APRIL 2-8-83
SHEET	1/1

APRIL 2-8-83

LIBER 14358 721



- NOTES**
1. SHOW THE DIMENSION ON THE 30' BUILT TOPPED OF THE BUILDING BASEMENT PLAN DIFFER FROM THE DIMENSION SHOWN ON THE ORIGINAL 30' BUILT PLAN. THE UNIT & SECOND FLOOR DIMENSIONS ON THE INDIVIDUAL UNIT PLAN WILL CHANGE IN THE SAME MANNER. IT SHOULD THE 30' BUILT OVER THE BUILDING PLAN SHOW THE UNIT WIDTH TO BE 3" WIDER THAN SHOWN ON THE ORIGINAL 30' BUILT PLAN. IT SHOULD BE ADDED TO THE WIDTH OF THE UNIT & SECOND FLOOR OF THE INDIVIDUAL UNIT PLAN.
 2. ALL OTHER DIMENSIONS ARE PLAN DIMENSIONS.
 3. LETTER 'E' INDICATES AFTER PLAN LETTER ROOMS ARE UNIT & BUILT REVEALED.
 4. ALL FLOORS AND CEILING ARE AT 6'6" TO THE WALLS UNLESS OTHERWISE NOTED.
 5. ALL WALLS ARE 6" THICK UNLESS OTHERWISE NOTED.

- LEGEND:**
- GENERAL COMMON ELEMENT
 - LIMITED COMMON ELEMENT
 - LIMITS OF UNDERMINING
 - 4" U.S. SL. AT TOP OF FIRST FLOOR
 - 30' BUILT DIMENSIONS

SCALE 1/4" = 1'-0"

Donald W. DeLong

BASEMENT & FOUNDATION PLAN

SIMSBURY BUILDING #13

PROJECT NO. 13

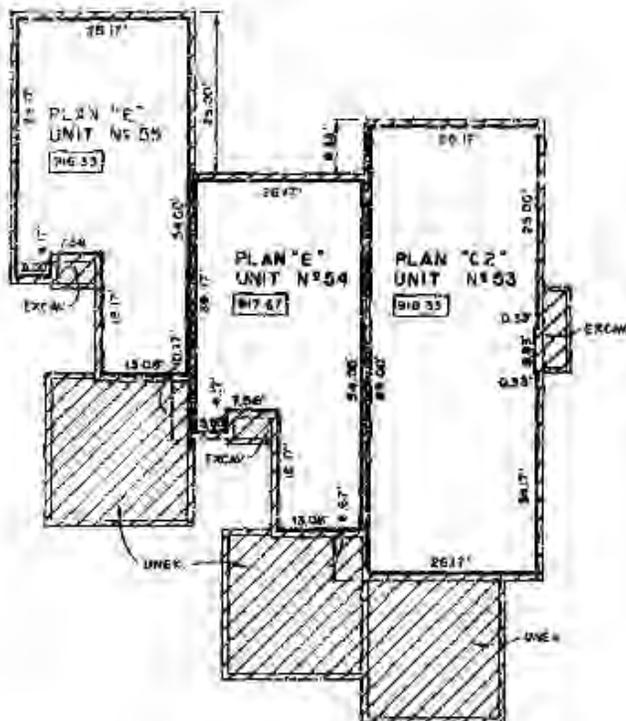
DATE: 10/1/68

ARCHITECT: [Signature]

ENGINEER: [Signature]

AS-BUILT 8-2-92

LIBR 14358W724



NOTE

1. VERIFY THE DIMENSIONS OF THE EXISTING CONCRETE OF THE BUILDING SUBMENT PLAN OFF FROM THE BUILDING DRAWING OF THE INDIVIDUAL UNIT SUBMENT PLAN. THE FOUNDATION DIMENSIONS ON THE INDIVIDUAL UNIT PLAN ONLY DRAWING IN THE SAME NUMBER AS SHOWN THE AS NOT DRAWING. CHECK PLAN SHOW THE UNIT WIDTH TO BE 8' WHEN PLAN SHOWS OF THE INDIVIDUAL UNIT PLAN. IT SHOULD BE ADDED TO THE WIDTH OF THE UNIT & BENDING FLOORS OF THE INDIVIDUAL UNIT PLAN.
2. ALL OTHER DIMENSIONS ARE TO BE MAINTAINED.
3. LETTER 'A' APPEARING AFTER PLAN LETTER INDICATES UNIT IS BUILT REVERSE.
4. ALL FLOORS AND CEILING ARE AT 90° TO THE WALLS UNLESS OTHERWISE NOTED.
5. ALL WALLS ARE 6.25" THICK UNLESS OTHERWISE NOTED.

LEGEND

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF CONCRETE
- WALLS AT TOP OF FIRST FLOOR
- TR - TRCAW DIMENSIONS

SCALE
1/8" = 1'-0"
BASE 10/1/70

BASEMENT & FOUNDATION PLAN



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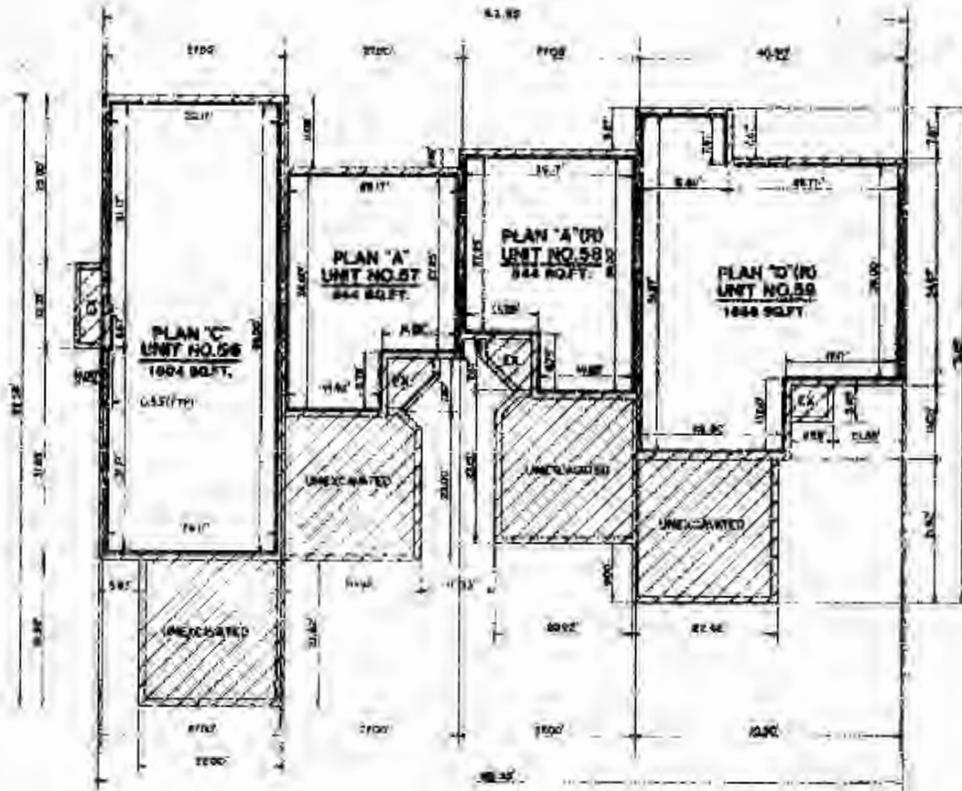
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SMSBURY BUILDING NO 16

DATE	REVISION	BY
SHEET NO. 5F		

AS-BUILT 8-1-83

LIB# 14358725



LEGEND

- GENERAL DESIGN ELEMENT
- LIMITS OF CONSTRUCTION
- REVERSE OF PLAN

NOTES

1. ALL DIMENSIONS UNLESS NOTED TO THE CONTRARY.
2. ALL WALLS ARE 12" UNLESS OTHERWISE NOTED.
3. SHOWED THE DIMENSIONS ON THE AP-BUILT DRAWING OF THE PILED BASEMENT PLAN DIFFER FROM THE DIMENSIONS SHOWN ON THE INDIVIDUAL UNIT UNIT PLAN THE FIRST AND SECOND FLOOR DIMENSIONS ON THE INDIVIDUAL UNIT PLAN WILL CHANGE BY THE SAME NUMBER OF INCHES - SHOWED THE AP-BUILT BASEMENT PLAN FROM THE UNIT WOULD TO BE 2" MORE THAN SHOWN ON THE INDIVIDUAL UNIT PLAN IT WOULD BE ADDED TO THE NORTH OF THE FIRST AND SECOND FLOOR OF THE INDIVIDUAL UNIT PLAN.

BASEMENT & FOUNDATION PLAN - BUILDING NO. 17
 UNIT NO. 56, 57, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

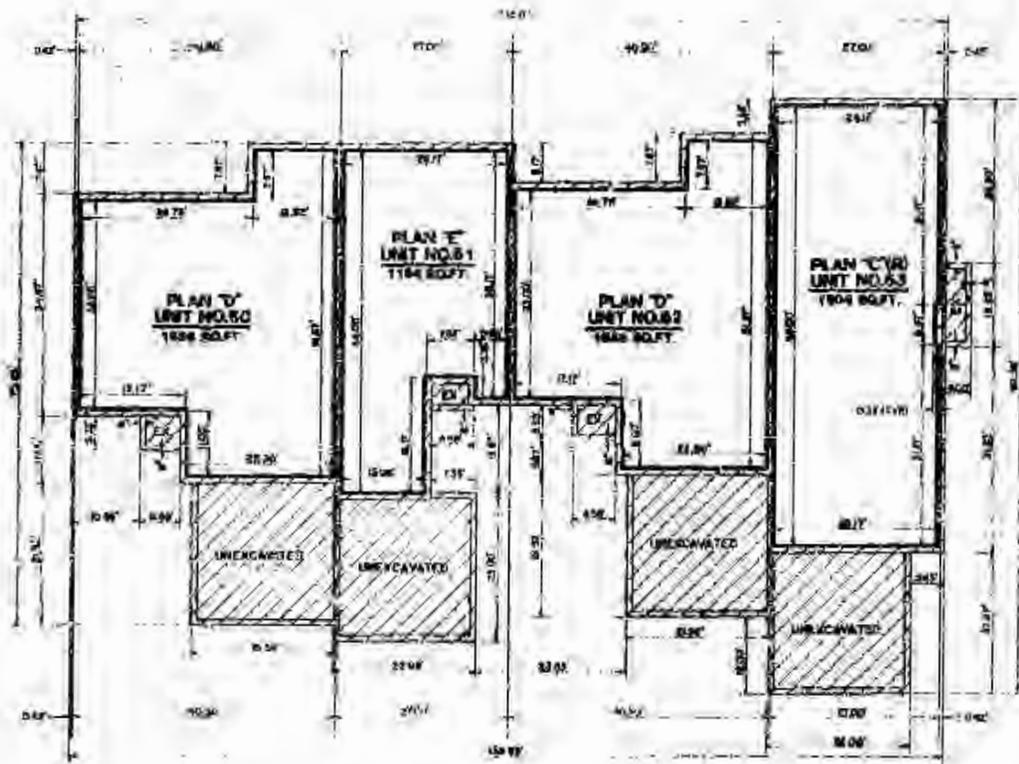
D. H. B. G.

SEALBURY - BUILDING NO. 17

DESIGNED BY	SEALBURY ENGINEERING CORPORATION
CHECKED BY	ALL WORK APPROVED
DATE	APRIL 1961
PROJECT NO.	SEALBURY - BUILDING NO. 17
SCALE	AS SHOWN
CHART	NO. 30

APR 20 1961

UNIT 143580726



LEGEND

GENERAL CHANGING ELEVATION
LIMITS OF CONCRETE
(A) REVERSE OF PLAN

NOTES

1. ALL DIMENSION LINES ARE TO FACE UNLESS OTHERWISE NOTED
2. ALL WALLS ARE 12" UNLESS OTHERWISE INDICATED
3. SHOW THE DIMENSIONS ON THE AS BUILT DRAWING OF THE BASEMENT
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE SEVERAL 2017 CODE PLAN. THE FIRST FLOOR FLOOR SHALL BE ON THE SEVERAL 2017 PLAN AND CHANGES AT THE SAME HORIZONTAL ELEVATION. SHOULD THE AS BUILT BASEMENT PLAN SHOW THE UNIT WIDTH TO BE 7' WIDER THAN SHOWN ON THE SEVERAL 2017 PLAN IT SHOULD BE ADDED TO THE WIDTH OF THE FIRST AND SECOND FLOORS OF THE INDIVIDUAL UNIT PLAN.

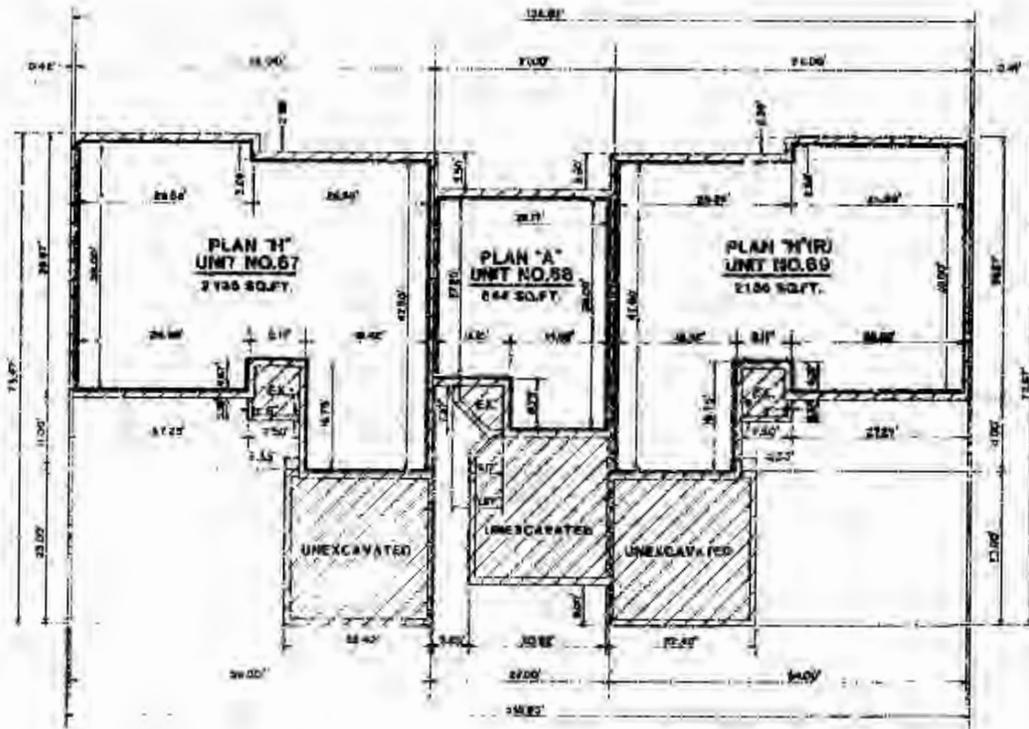
BASEMENT & FOUNDATION PLAN - BUILDING NO. 18
UNITS NO. 50, 51, 52, 53


R. H. D. G.
R. B.

APPENDIX - UNIT NO. 18

	<p style="font-size: small;"> GENERAL NOTES 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SEVERAL 2017 CODE PLAN. 2. ALL WALLS ARE 12" UNLESS OTHERWISE INDICATED. 3. SHOW THE DIMENSIONS ON THE AS BUILT DRAWING OF THE BASEMENT. 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE SEVERAL 2017 CODE PLAN. THE FIRST FLOOR FLOOR SHALL BE ON THE SEVERAL 2017 PLAN AND CHANGES AT THE SAME HORIZONTAL ELEVATION. SHOULD THE AS BUILT BASEMENT PLAN SHOW THE UNIT WIDTH TO BE 7' WIDER THAN SHOWN ON THE SEVERAL 2017 PLAN IT SHOULD BE ADDED TO THE WIDTH OF THE FIRST AND SECOND FLOORS OF THE INDIVIDUAL UNIT PLAN. </p>
<p style="font-size: x-small;">SCALE</p> <p style="font-size: x-small;">1" = 4'-0"</p>	<p style="font-size: x-small;"> SHEET NO. 01 OF 01 </p>

LIBER 14358 OF 728



LEGEND

STRUCTURAL COMMON ELEMENT
(PART OF FOUNDATION)
OR
 SEVERAL IN PLAN

NOTES

- 1 ALL DIMENSIONS UNLESS NOTED AT BOTTOM EACH OTHER
- 2 ALL WALLS ARE 10" UNLESS OTHERWISE INDICATED
- 3 SHOULD THE DIMENSIONS ON THE SE SECT DRAWING OF THE BUILDING UNIT PLAN BE LARGER THAN THE DIMENSIONS SHOWN ON THIS INDIVIDUAL UNIT PLAN IN ALL THE FIRST AND SECOND FLOOR DIMENSIONS ON THE INDIVIDUAL UNIT PLAN WILL CHANGE IN THE SAME MANNER. EXAMPLE - SHOULD THE 10" WALLS SECOND FLOOR DIMENSION BE 6" SHOWN THE 10" WALL WIDTH TO BE 6" WOULD SHOW UP ON THE INDIVIDUAL UNIT PLAN IT WOULD BE NOTED TO THE RIGHT OF THE FIRST AND SECOND FLOOR OF THE INDIVIDUAL UNIT PLAN.

BASEMENT & FOUNDATION PLAN - BUILDING NO. 20
UNITS NO. 67, 58 AND 69
SCALE 1" = 1'-0"



Edward E. Kelly
ME



NO. 20-17 8-2-63

SEALING - BUILDING NO. 20

SEALING TABLE COMPLETION
BY: [Signature]

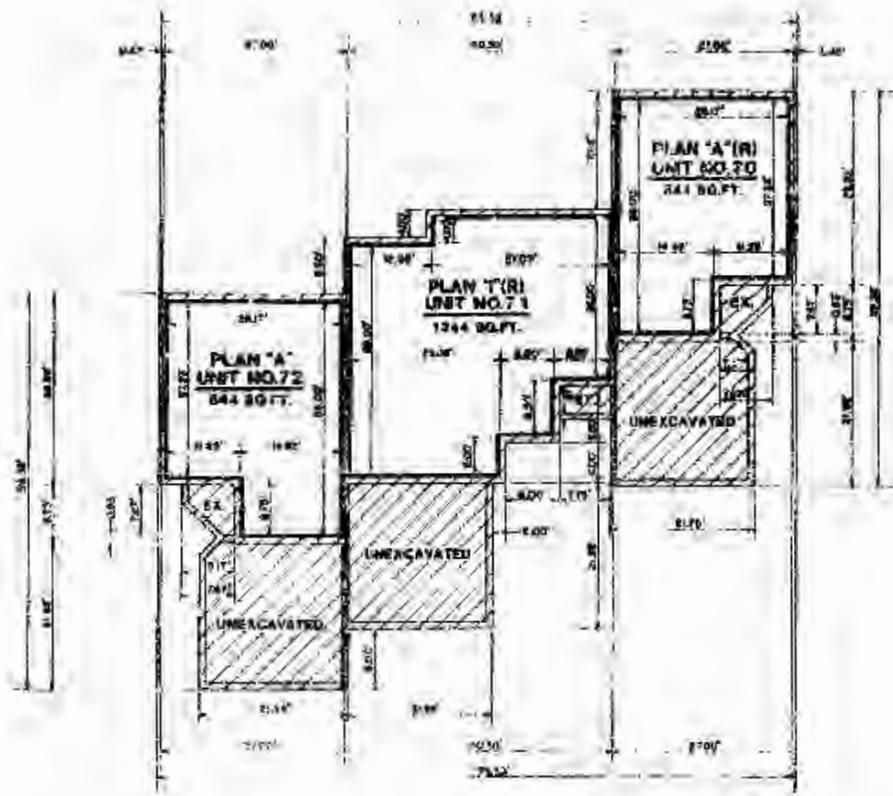
SEALING OFFICER
[Signature]

DATE: [] [] []

NO. 20-17 8-2-63

SHEET 407

LIBR 14358 729



LEGEND

- GENERAL COMMON ELEMENTS
- LIMITS OF OWNERSHIP
- REVERSE OF PLAN

NOTES

1. ALL OWNERSHIP LINES ARE BY 60 TO EACH OTHER
2. ALL WALLS ARE 12" UNLESS OTHERWISE INDICATED
3. DASHED LINE (DIMENSIONS OF THE REVERSE SIDE) OF THE BLOCK BASEMENT PLAN SHOWN FROM THE DIMENSIONS SHOWN ON THE INDIVIDUAL UNIT BASMENT PLAN FOR THE FIRST AND SECOND FLOOR DIMENSIONS ON THE INDIVIDUAL UNIT PLAN WILL CHANGE IN THE SAME MANNER. EXAMPLE: SHOULD THE AS BUILT BUILDING BASMENT PLAN SHOW THE UNIT WIDTH TO BE 2" WIDER THAN SHOWN ON THE INDIVIDUAL UNIT PLAN IT WOULD BE ADDED TO THE WIDTH OF THE FIRST AND SECOND FLOOR ON THE INDIVIDUAL UNIT PLAN

BASEMENT & FOUNDATION PLAN - BUILDING NO. 21
 UNITS NO. 70(R), 71(R) & 72



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INSURANCE - BUILDING NO. 21

OWNER	PROPERTY	INSURANCE COMPANY

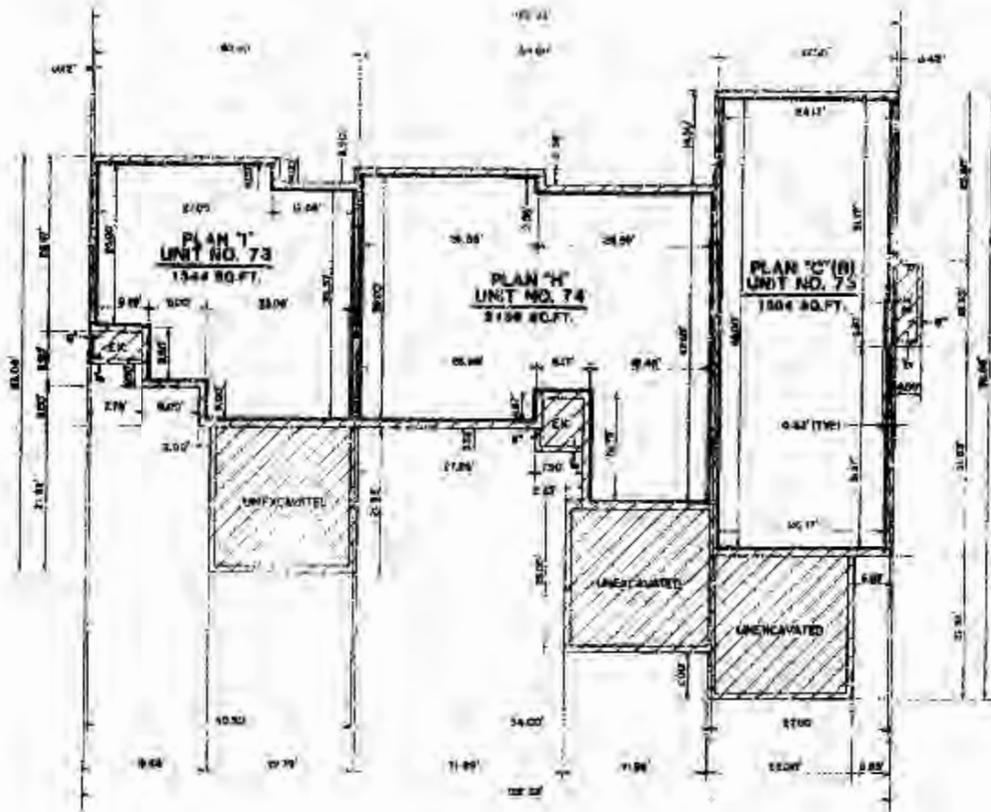
PROPERTY - BUILDING NO. 21

SHEET # 04



AS-BUILT 8-2-82

LIB# 143580730



LEGEND

- GENERAL COMMON ELEMENTS
- UNIT OR OWNERSHIP
- TO VERIFY BY PLAN

NOTES

1. ALL OWNERSHIP LINES ARE AS SHOWN EACH UNIT
2. ALL WALLS ARE 12" THICK UNLESS OTHERWISE NOTED
3. WORKED TO THE DIMENSIONS ON THE AS-BUILT DRAWING OF THE BASEMENT PLAN EXCEPT FROM THE DIMENSIONS SHOWN ON THE INDIVIDUAL UNIT ASSET PLAN. THE FIRST AND SECOND FLOOR DIMENSIONS ON THE INDIVIDUAL UNIT PLAN WILL CHANGE IF THE DIMENSIONS STAGGERS. SHOULD THE AS-BUILT BASEMENT PLAN SHOW THE UNIT WIDTH TO BE 2" WIDER THAN SHOWN ON THE INDIVIDUAL UNIT PLAN IT WOULD BE ADDED TO THE WIDTH OF THE FIRST AND SECOND FLOOR OF THE INDIVIDUAL UNIT PLAN.

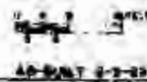
BASEMENT & FOUNDATION PLAN - BUILDING NO. 22
UNITS NO. 73, 74 & 75 (REV)

SCALE 1" = 4'



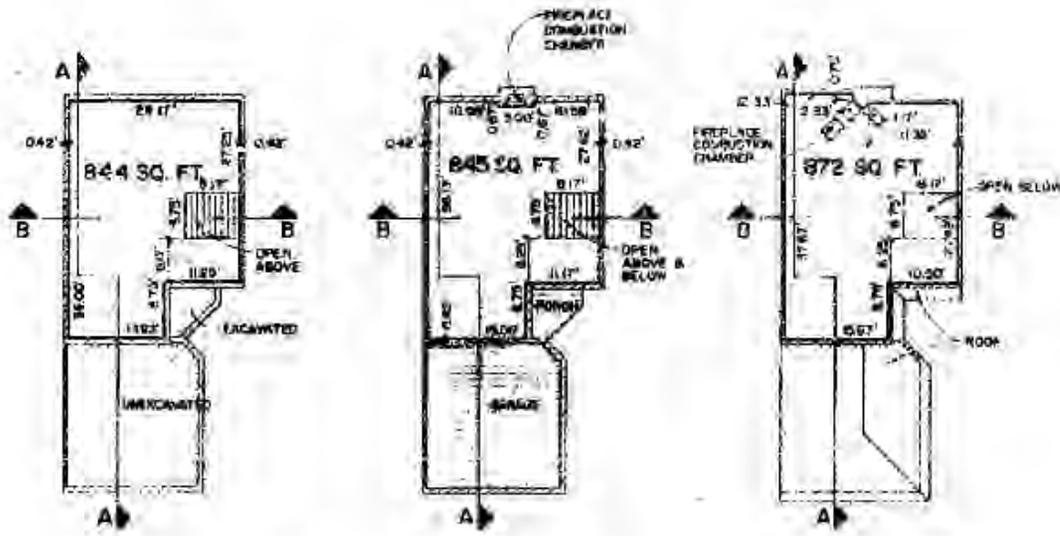
Donald B. Ryan
[Signature]

EMERGENCY - BUILDING NO. 22



	APPROVED FOR CONSTRUCTION DATE: _____ BY: _____
	APPROVED FOR OCCUPANCY DATE: _____ BY: _____
SHEET NO. 22	TOTAL SHEETS: 22

LIBR 146587731



BASEMENT PLAN

FIRST FLOOR PLAN

SECOND FLOOR PLAN

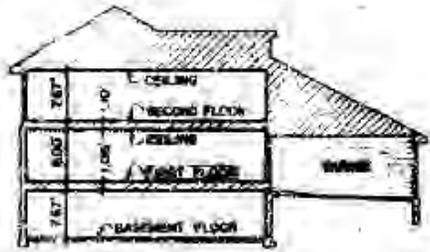
KEY

..... GENERAL COMMON ELEMENT
 [] LIMITED COMMON ELEMENT
 - - - - - LIMITS OF OWNERSHIP

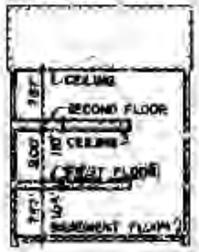
NOTES:

1. ALL OWNERSHIP LINES ARE AT 90° TO JOBS UNLESS OTHERWISE NOTED
2. ALL BASEMENT WALLS ARE 8" W.C. UNLESS OTHERWISE NOTED
3. ALL FIRST FLOOR WALLS ARE 12" W.C. UNLESS OTHERWISE NOTED
4. ALL SECOND FLOOR WALLS ARE 12" W.C. UNLESS OTHERWISE NOTED
5. ALL ROOFS ARE GENERAL COMMON ELEMENT

SCALE: 1/4" = 1'-0"



SECTION A-A



SECTION B-B



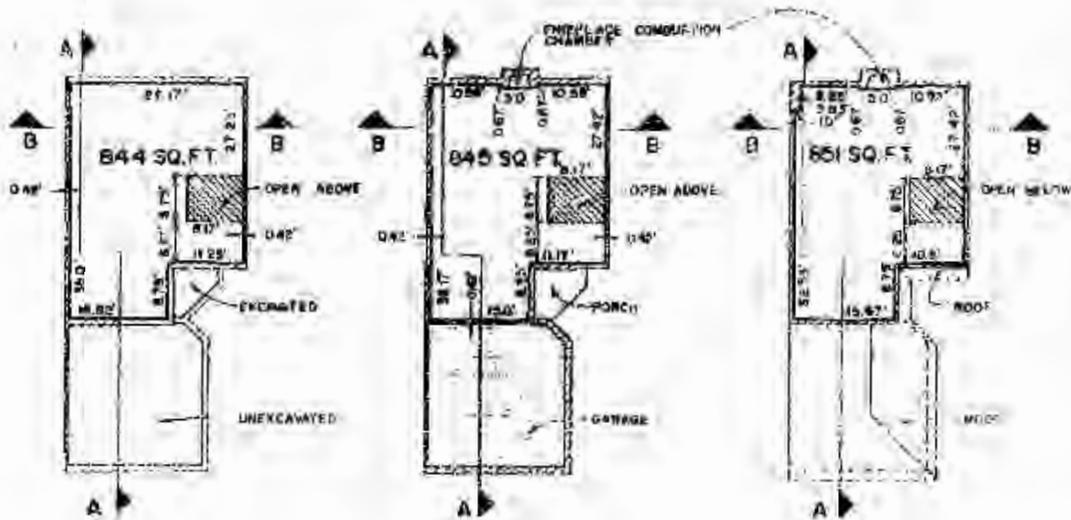
Donald H. [Signature]

SIMSBURY TYPICAL UNIT PLAN "A"

	DONALD H. [Signature] ARCHITECT
	[Signature] ARCHITECT
SHEET # 9	

AS-BUILT 8-2-23

LIBER 14358W732



BASEMENT PLAN

FIRST FLOOR PLAN

SECOND FLOOR PLAN

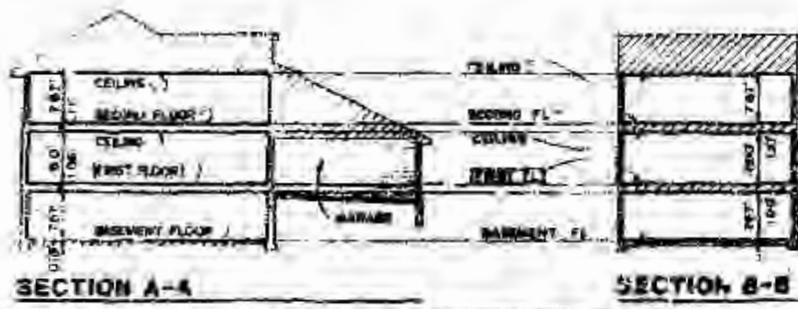
KEY

- ORIGINAL EXISTING ELEMENT
- - - LIMITED COMMON ELEMENT
- PARTS OF COMMON AREA

NOTES:

1. ALL DIMENSIONS/LENGTHS ARE AT 20' TO 25' UNLESS OTHERWISE NOTED OTHERWISE NOTED
2. ALL EXISTING WALLS ARE 8" AS UNLESS OTHERWISE NOTED
3. ALL FIRST FLOOR WALLS ARE 8" AS UNLESS OTHERWISE NOTED
4. ALL SECOND FLOOR WALLS ARE 8" AS UNLESS OTHERWISE NOTED
5. ALL FINISHES ARE PER THE COMMON ELEMENT

SCALE: 1/4" = 1'-0"



SECTION A-A

SECTION B-B


Richard H. D. Ryan
RDR

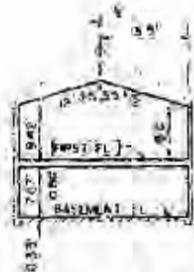
SIMSBURY TYPICAL UNIT PLAN "B"

	<small>DESIGNED BY</small> RICHARD H. D. RYAN REGISTERED PROFESSIONAL ENGINEER STATE OF CONNECTICUT NO. 10000
	<small>DATE</small> 10/1/83

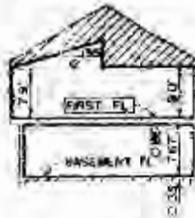
SHEET #2

AG-BEL: 3-1-83

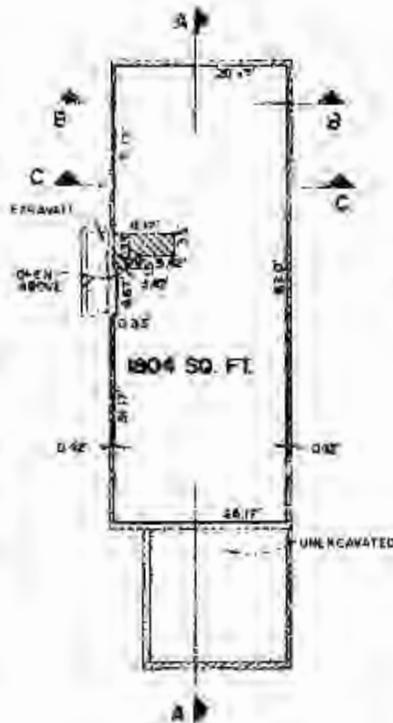
LIBER 141684733



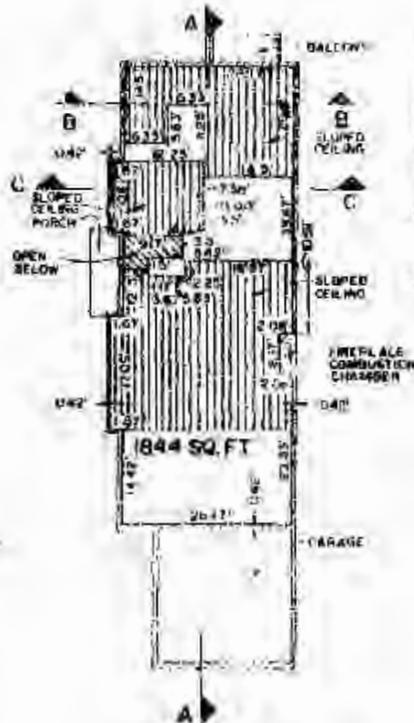
SECTION B-B



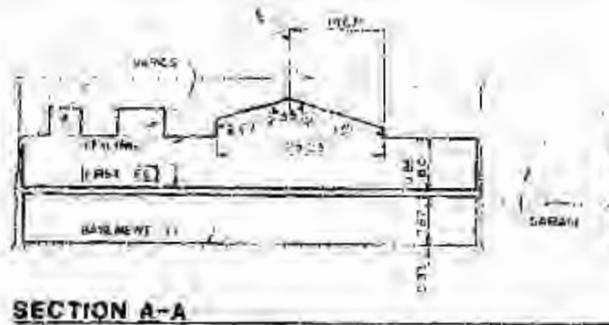
SECTION C-C



BASEMENT PLAN



FIRST FLOOR PLAN



SECTION A-A

KEY

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- UNITS OF OCCUPANCY

NOTES

1. ALL DIMENSIONS ARE AT 1/4" TO 1/8" UNLESS OTHERWISE NOTED
2. ALL BASEMENT WALLS ARE 1/2" REINFORCED CONCRETE
3. ALL FIRST FLOOR WALLS ARE 8" UNLESS OTHERWISE NOTED
4. ALL SECOND FLOOR WALLS ARE 12" UNLESS OTHERWISE NOTED
5. ALL DOORS ARE GENERAL COMMON ELEMENT

SCALE: 1/8" = 1'-0"

SLOPED CEILING



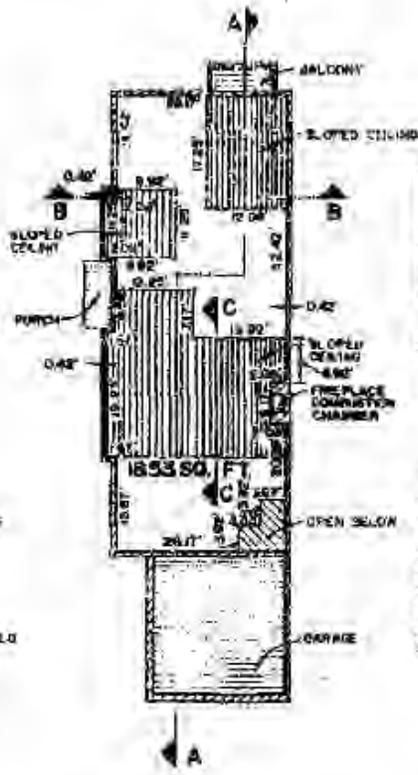
W. B. D. D.
SIMSBURY
TYPICAL UNIT PLAN "C"

	APPROVED FOR CONSTRUCTION
	DATE: _____
DESIGNED BY: _____	DATE: _____
CHECKED BY: _____	DATE: _____
PROJECT NO. _____	SHEET NO. _____

LINER 14358P734



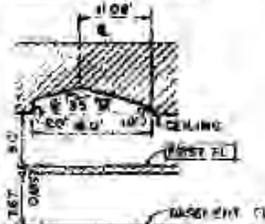
BASMENT PLAN



FIRST FLOOR PLAN



SECTION B-B



SECTION C-C



SECTION A-A

KEY

- GENERAL COMMON FLOORING
- LIMITED COMMON ELEMENT
- LIMITS OF OWNERSHIP

- NOTES:**
1. ALL OVERLAYING LINES ARE AT 2" TO 4" FROM EXISTING UNLESS OTHERWISE NOTED
 2. ALL EXISTING WALLS ARE UNLESS OTHERWISE NOTED
 3. ALL FIRST FLOOR WALLS ARE 8" THICK UNLESS OTHERWISE NOTED
 4. ALL SECOND FLOOR WALLS ARE 6" THICK UNLESS OTHERWISE NOTED
 5. ALL ROOFS ARE GENERAL COMMON ELEMENT

SCALE: 1/8" = 1'-0"

WAVY CEILING

E. H. B. J.
SIMSBURY
TYPICAL UNIT PLAN 'C-2'

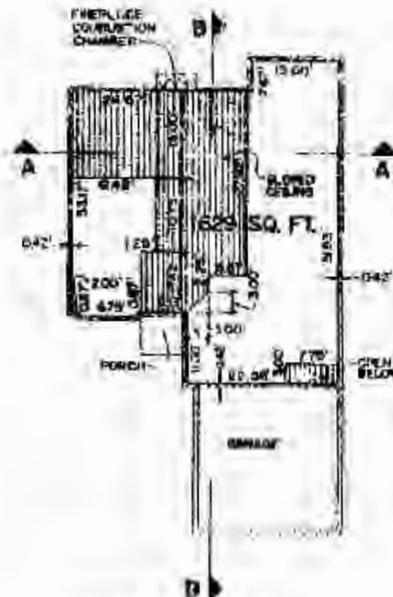
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AS-BUILT 8-2-02

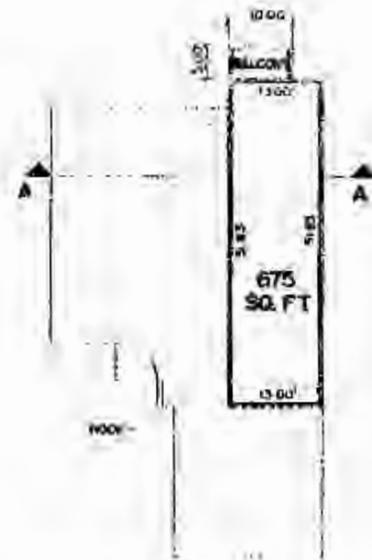
LITER 14358W735



BASEMENT PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



SECTION A-A



SECTION B-B

KEY

- GENERAL COMMON ELEMENT
- LIMITED COMMON ELEMENT
- LIMITS OF CONVEYANCE

SLOPED CEILING

- NOTES:**
1. ALL UNREINFORCED CONCRETE SHALL BE 3000 PSI.
 2. ALL REINFORCED CONCRETE SHALL BE 4000 PSI.
 3. ALL ROOFING SHALL BE 18 GA. GALV. CORRUGATED STEEL.
 4. ALL ROOFING SHALL BE 18 GA. GALV. CORRUGATED STEEL.
 5. ALL ROOFING SHALL BE 18 GA. GALV. CORRUGATED STEEL.


Donald A. DeWitt
DB

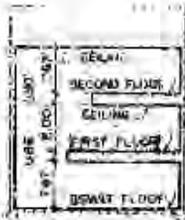
**STRUCTURAL
TYPICAL UNIT PLAN "D"**

	<p>DATE: 11/11/73</p> <p>BY: [Signature]</p>
<p>PROJECT: [Illegible]</p>	
<p>SCALE: 1/8" = 1'-0"</p>	
<p>REVISIONS:</p>	

AS-BUILT 8-2-78

SHEET #1

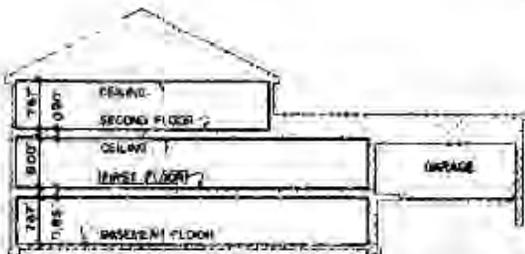
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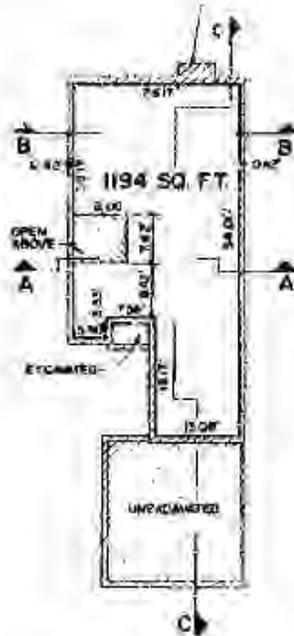
SECTION A-A



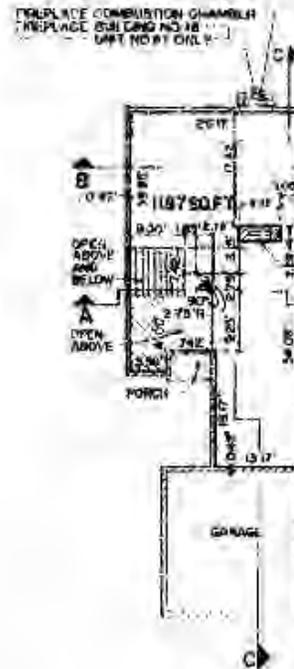
SECTION B-B



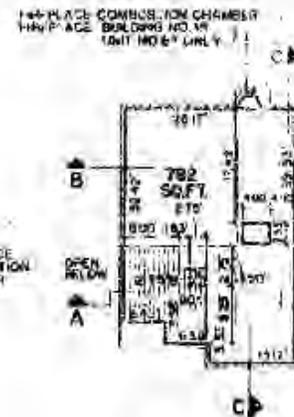
SECTION C-C



BASEMENT PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

- KEY**
- GENERAL COMMON ELEMENT
 - LIMITED COMMON ELEMENT
 - LIMITS OF OWNERSHIP

- NOTES:**
1. ALL OWNERSHIP LINES ARE AT 20' TO ONE ANOTHER UNLESS OTHERWISE NOTED.
 2. ALL BASEMENT WALLS ARE 8" UNLESS OTHERWISE NOTED.
 3. ALL FIRST FLOOR WALLS ARE 8" UNLESS OTHERWISE NOTED.
 4. ALL SECOND FLOOR WALLS ARE 8" UNLESS OTHERWISE NOTED.
 5. ALL NOTES ARE GENERAL COMMON UNLESS NOTED.



David L. ...

SCALE: 1/8" = 1'-0"

RTB

SIMSBURY

TYPICAL UNIT PLAN "E"

<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION				<p>GENERAL NOTES</p> <p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.</p> <p>2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.</p> <p>3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.</p>
NO.	DATE	DESCRIPTION					

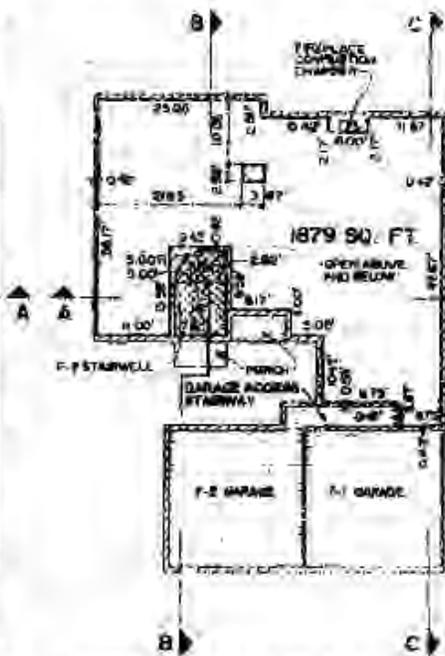
AS-BUILT 0-2-93

SHEET # 10

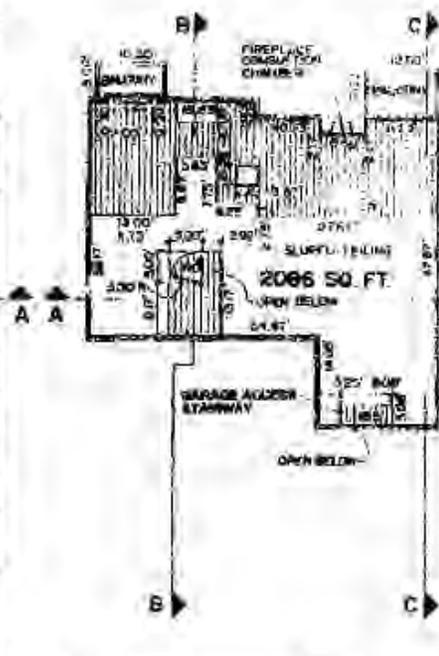
LIBER 14358/737



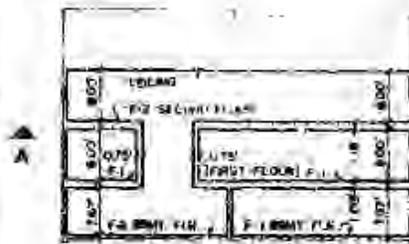
BASEMENT PLAN



FIRST FLOOR PLAN



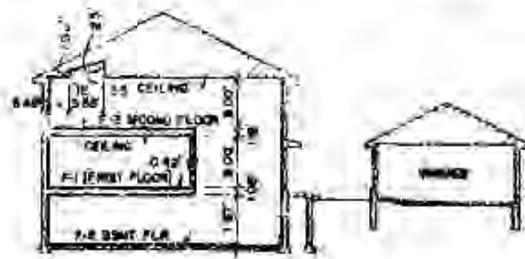
SECOND FLOOR PLAN



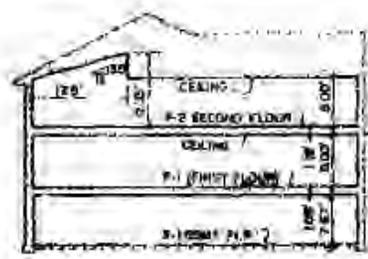
SECTION A-A

- KEY**
- GENERAL COMMON ELEMENT
 - LIMITED COMMON ELEMENT
 - LIMIT OF BUILDING

- NOTES**
1. ALL DIMENSIONS UNLESS SHOWN AT 90°
 2. ALL DIMENSIONS UNLESS SHOWN AT 90°
 3. ALL DIMENSIONS UNLESS SHOWN AT 90°
 4. ALL DIMENSIONS UNLESS SHOWN AT 90°
 5. ALL DIMENSIONS UNLESS SHOWN AT 90°
 6. ALL DIMENSIONS UNLESS SHOWN AT 90°
 7. ALL DIMENSIONS UNLESS SHOWN AT 90°
 8. ALL DIMENSIONS UNLESS SHOWN AT 90°



SECTION B-B



SECTION C-C



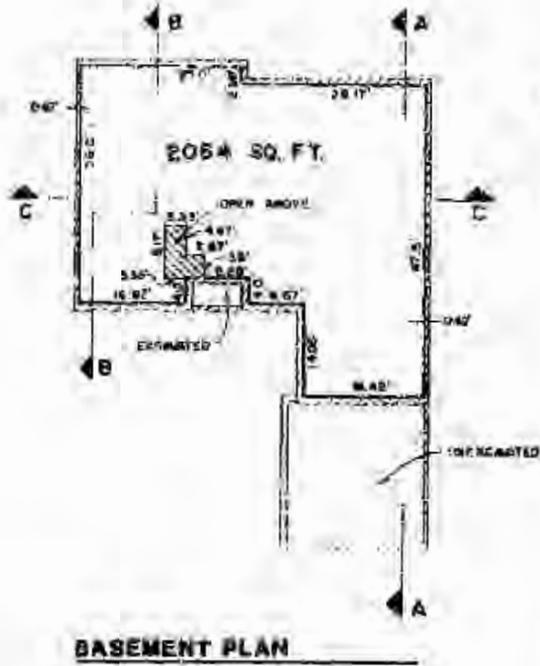
Donald P. Kelly

SIMSBURY TYPICAL UNIT PLAN "F-1, F-2"

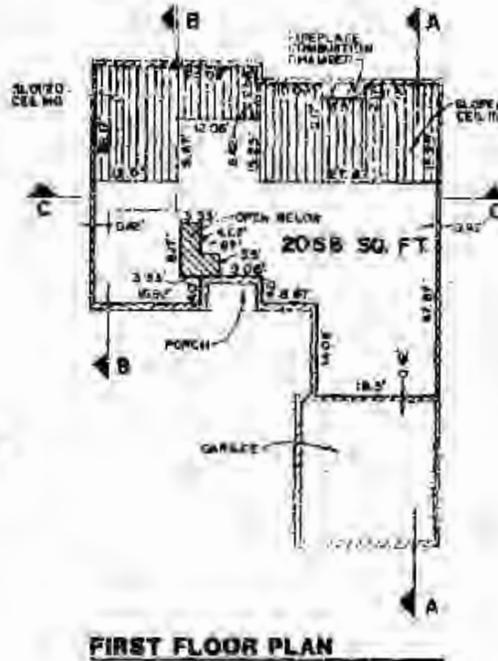
	<p>OFFICE OF PLANNING</p> <p>DESIGNED BY: DONALD P. KELLY, ARCHITECT</p> <p>DATE: 11/15/83</p> <p>PROJECT NO.: 83-001</p>
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AS-BUILT 8-1-84

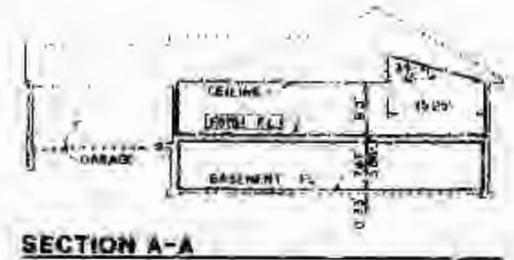
PROJ. 14358-738



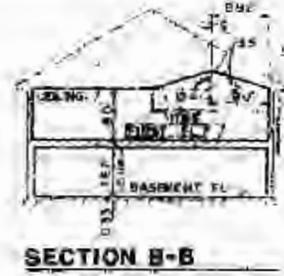
BASEMENT PLAN



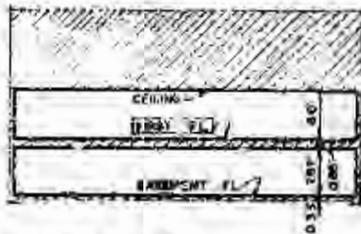
FIRST FLOOR PLAN



SECTION A-A



SECTION B-B



SECTION C-C

KEY

- EXISTING CONCRETE ELEMENT
- UNITS CONCRETE ELEMENT
- LIMITS OF FINISHING

SLOPED CEILING

NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS SHALL BE AS SHOWN
3. ALL OPENINGS SHALL BE AS SHOWN
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS

David A. Kelly
 D.A.K.

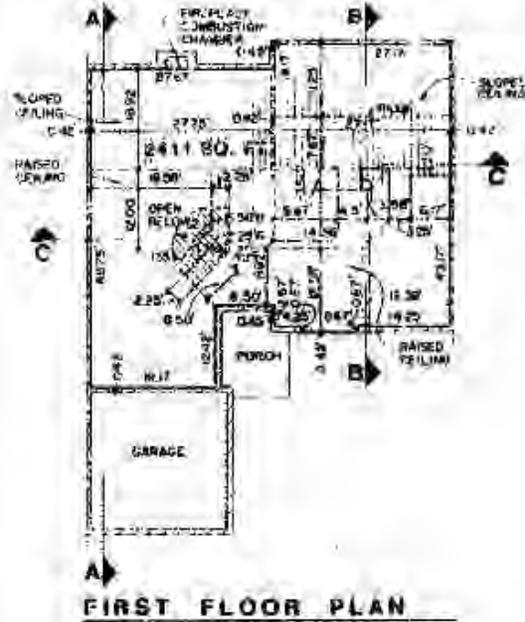
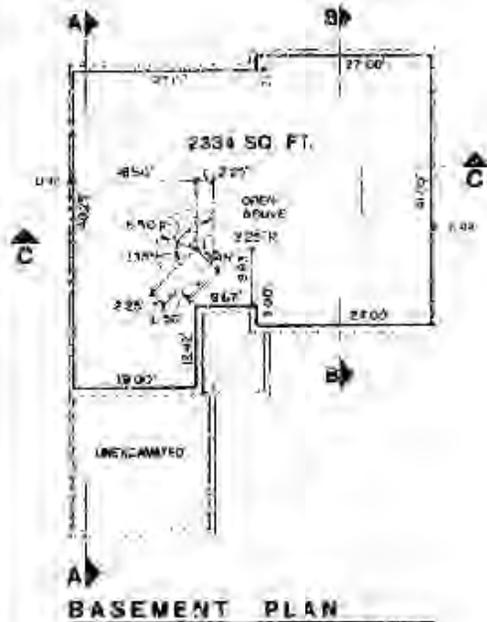
SIMSBURY
TYPICAL UNIT PLAN - 6

SCALE: 1/4" = 1'-0"

AS-BUILT 8-2-23

	THE TOWN OF SIMSBURY ALL RIGHTS RESERVED
CONTRACT NO. 14358-738	PROJECT NO. 14358-738
DATE 8-2-23	SHEET NO. 12

100R 14358N739

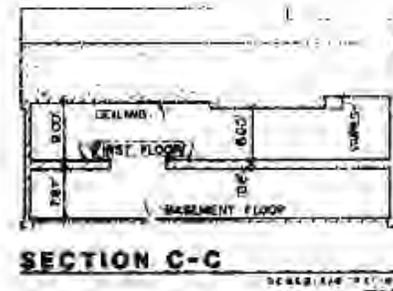
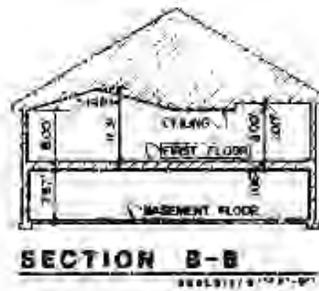
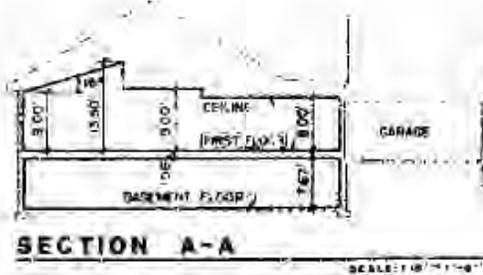


- KEY**
- [---] GENERAL COMMON ELEMENT
 - [---] LIMITED COMMON ELEMENT
 - [---] LIMITS OF OWNERSHIP
- NOTES:**
1. ALL OWNERSHIP LINES ARE 1/4" TO 3/8" UNLESS OTHERWISE NOTED
 2. ALL BASEMENT WALLS ARE 4.0' UNLESS OTHERWISE NOTED
 3. ALL FIRST FLOOR WALLS ARE 8.0' UNLESS OTHERWISE NOTED
 4. ALL SECOND FLOOR WALLS ARE 8.0' UNLESS OTHERWISE NOTED
 5. ALL ROOFS ARE GENERAL COMMON ELEMENT

SCALE: 1/8" = 1'-0"

SHOWN CEILING

RAISED CEILING



D. L. ...

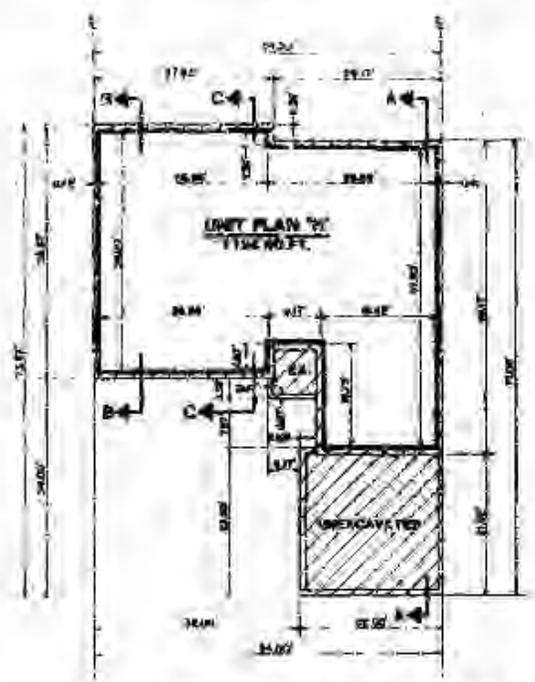
J. ...

SIMSBURY

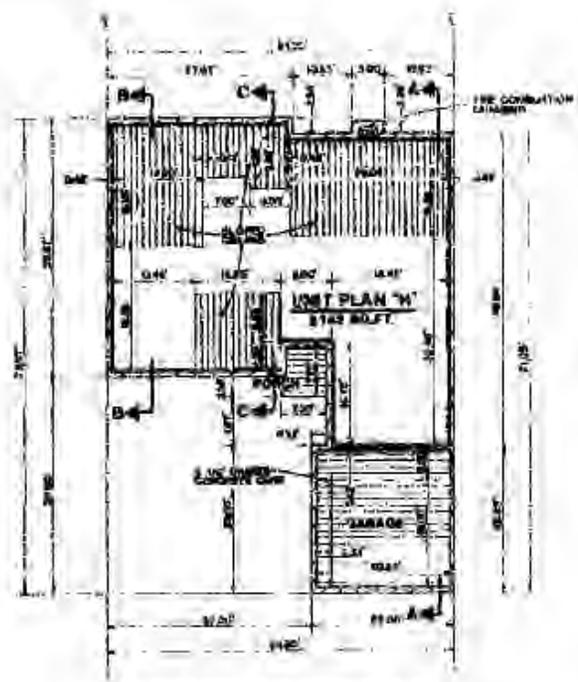
TYPICAL UNIT PLAN "R"

	<p>DESIGNED BY: [Signature]</p> <p>DRAWN BY: [Signature]</p> <p>CHECKED BY: [Signature]</p> <p>DATE: [Date]</p>
<p>AS-BUILT 8-2-91</p>	<p>SHEET 13</p>

EIR 143588730



BASEMENT & FOUNDATION PLAN - UNIT TYPE "H"
SCALE 1/4" = 1'-0"



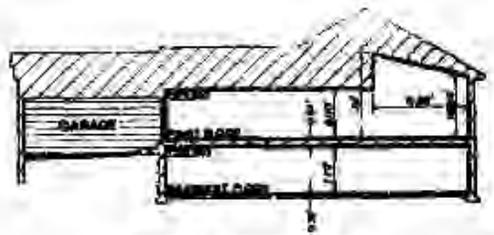
FIRST FLOOR PLAN - UNIT TYPE "H"
SCALE 1/4" = 1'-0"

- LEGEND**
- GENERAL COMMON ELEMENT
 - LIMITED COMMON ELEMENT
 - BUILT-IN CASE
 - LIMIT OF OVERLAY

- NOTES**
1. ALL OVERLAP CASES ARE AT 90 TO FACE UNLESS OTHERWISE INDICATED
 2. ALL BALCONY WALLS ARE 6"0" CHESA CHIMNEY UNLESS OTHERWISE INDICATED
 3. ALL FIRST FLOOR WALLS AND P.F. WALLS OTHERWISE INDICATED
 4. ALL DOORS BY GENERAL COMMON ELEMENT



CROSS SECTION C-C
SCALE 1/4" = 1'-0"



CROSS SECTION A-A
SCALE 1/4" = 1'-0"



CROSS SECTION B-B
SCALE 1/4" = 1'-0"



AS-BUILT 8-2-88

PROPERTY - TYPICAL UNIT PLAN "H"

OWNER: [Redacted]

DESIGNER: [Redacted]

DATE: [Redacted]

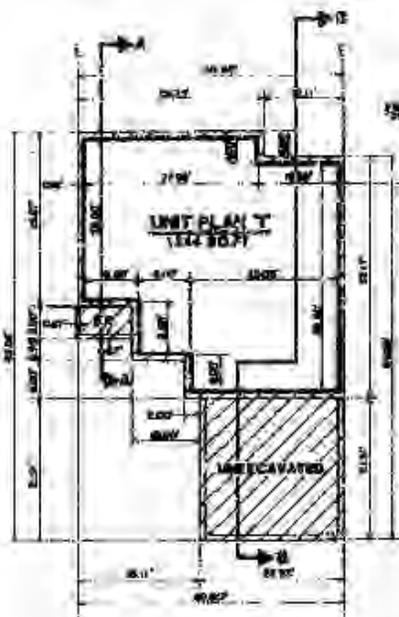
SCALE: 1/4" = 1'-0"

AS-BUILT 8-2-88

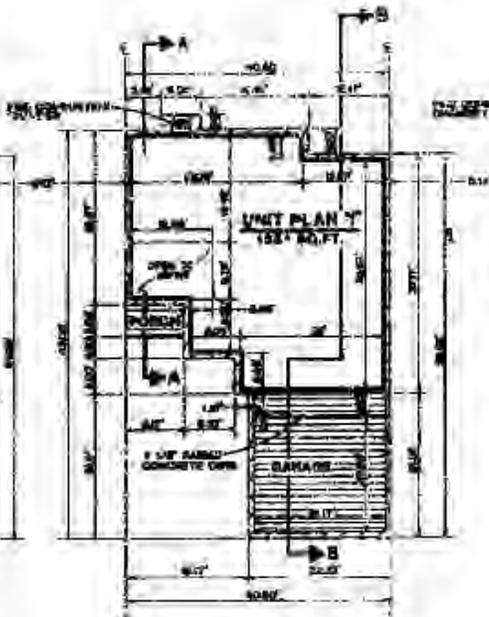


Handwritten signature and initials

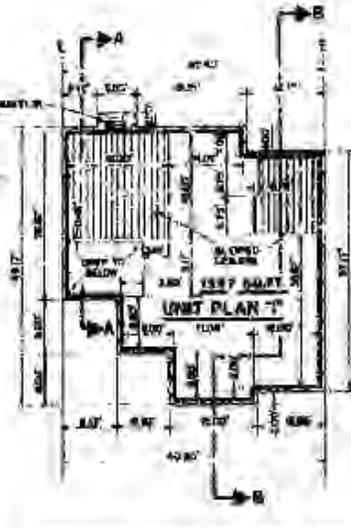
Sheet 14358M741



BASEMENT & FOUNDATION PLAN - UNIT TYPE T
SCALE 1/8"



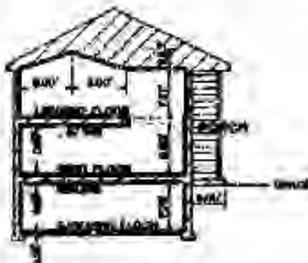
FIRST FLOOR PLAN - UNIT TYPE T
SCALE 1/8"



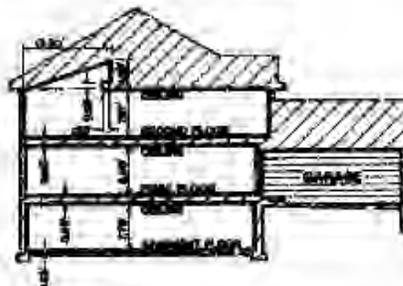
SECOND FLOOR PLAN - UNIT TYPE T
SCALE 1/8"

- LEGEND**
- NORMAL CONCRETE ELEMENT
 - LAPPED CONCRETE ELEMENT
 - SLOPED CONCRETE
 - LIMITS OF EXCAVATION

- NOTE**
1. ALL DIMENSIONS ARE AT 10% TO 20% OTHER THAN OTHERWISE INDICATED.
 2. ALL BASEMENT WALLS ARE 12\"/>



CROSS SECTION A-A
SCALE 1/8"



CROSS SECTION B-B
SCALE 1/8"

EMERGENCY - TYPICAL UNIT PLAN T

APR 1968

DESIGNED BY: [Signature]

SCALE: 1/8"

PROJECT NO: 14358M741

DATE: 4-1-68

AS-BUILT 8-1-68